



Village of Lincolnwood Plan Commission

Meeting

Wednesday January 23, 2013

7:00 P.M.

in the

Council Chambers Room

Lincolnwood Village Hall - 6900 Lincoln Avenue

Meeting Agenda

1. **Call to Order/Roll Call**
2. **Workshop: Planned Unit Development Conceptual Plan Review: Purple Hotel
4500 West Touhy Avenue**
Description: Proposal by North Capital Group to Redevelop the
Purple Hotel and Review of Proposed Site Plan
3. **Other Business**
4. **Public Comment**
5. **Adjournment**



MEMORANDUM

TO: Chairman Eisterhold
Members of the Plan Commission

FROM: Aaron N. Cook, AICP
Development Manager

DATE: January 18, 2013

SUBJECT: Plan Commission Workshop – Review of Purple Hotel Preliminary Planned Unit Development Submittal

North Capital Group has submitted for consideration an application for Conceptual Plan Review by the Plan Commission. The Conceptual Plan Review is an optional step in the Planned Unit Development (PUD) process. The Zoning Ordinance requires PUD approval for the redevelopment of the Purple Hotel and two adjoining properties. The application includes a binder of information including but not limited to:

- Descriptions of the proposal.
- Parking Analysis
- Site Plan
- Plat of Survey
- Landscape Plan
- Preliminary Design Schedule
- Purple Hotel Building Redevelopment Plans

Prior to the scheduled Plan Commission workshop staff convened the Development Review Team. This staff team consists of representatives of the following Departments: Police; Fire; Public Works, Community Development; as well as, the Village Engineer and Village Landscape Consultant.

This team met on January 16, 2013 to discuss the information submitted by North Capital Group. Attached are the written review comments from the department representatives. The primary focus of this team review was the site plan and landscape plan. Overall, team members considered the site plan and landscape plan to be very preliminary in nature. Accordingly, many staff comments include requests for additional information and detail. In the team meeting,

significant questions or concerns were raised by team members regarding site access, parking layout and internal traffic circulation, truck deliveries and fire truck access, pedestrian access and circulation on the property, lack of landscaping, the location of new buildings and building massing. Further concerns were raised regarding whether sufficient parking is being provided, whether these plans include Commonwealth Edison property and whether a parking structure is appropriate for this development.

At the January 23, 2013 Plan Commission Workshop staff anticipates the developer will provide a presentation and be available to answer questions. To assist the Commission, Community Development Department staff will be present as well as the Village's landscape consultant, Jim Gamble of Land Design Collaborative and Jim Johnson, the Village Engineer.

Attachments:

1. Community Development Department Review
2. Land Design Collaborative Inc. Conceptual Plan Landscape Review
3. Village Engineer Plan Review
4. Department of Public Works Staff Plan Review
5. TPI Building Code Consultants Plan Review
6. Lincolnwood Fire Department Development Plan Review
7. Lincolnwood Police Department Purple Hotel Redevelopment Plan Review
8. Conceptual Plan Review Application made by North Capital Group

Community Development Department Review
Regarding
Purple Hotel Property
For Conceptual Plan Review

Date on Submittal: December 31, 2012
Date of Department Review: January 16 2013

Synopsis of Conceptual Proposal Submitted

The applicant is seeking conceptual plan review for a development proposal. This conceptual review is the first step toward seeking Preliminary Planned Unit Development (PUD) approval for this proposal.

This proposal contemplates the renovation of the existing Purple Hotel facility and the construction of approximately 30,000-40,000 square feet of retail and office uses on the site. Approximately 40,000 square feet of existing building (4560 Touhy and 7350 Lincoln) has either recently been demolished or is planned to be demolished for this proposed development.

The renovated hotel component contemplates 208 hotel rooms, a 9,000 square foot restaurant, as well as a banquet hall, conference center and spa. The site is comprised of several parcels which combined consist of approximately 8.5 acres.

Consistency with Village Plans

Plan Summary

The Village's Zoning Ordinance and Comprehensive Plan (Lincoln Avenue Plan) ("Village Plans") envisions the Lincoln-Touhy intersection as a focal point of Lincolnwood's "downtown" activity. This includes a mixed-use commercial area built in a pedestrian-friendly environment. The Village Plans envisions this area has having the highest development intensity in the community and potentially requiring either underground parking or parking deck(s).

Building height in this area is recommended to be limited to 5 floors with retail being the predominant ground floor use, with upper floors either residential or office space. Restaurants, retail and uses which encourage the public to gather, including a boutique hotel or family entertainment venues are desirable.

The Village Plans further calls for new buildings in this area to be built to 5 foot build-to lines along Lincoln Avenue and along Touhy Avenue, build-to lines of 15 feet or greater. Sculptures, fountains and plazas with outdoor seating are also envisioned for the subject property. The Village Plans further call for buildings to be oriented parallel to the street and buildings located at major intersections to incorporate a turret or tower feature. Facades fronting major streets are to have windows at the ground level. Street facing elevations and facades shall also incorporate projections, recesses, and offsets in order to divide flat expanses of buildings.

The Village Plans also recommend new parking lots to be prohibited in front of buildings and to require landscape screening of existing parking areas. Screening shall also be provided for along public sidewalks.

A Streetscape Plan for the Lincoln Avenue corridor has been prepared. The Zoning Ordinance requires on-street parking lanes in the public right-of-way to be incorporated into a new sidewalk system with “bump-outs” for new and existing uses. For the Touhy Avenue intersection three alternatives have been provided, providing options for street parking and a right turn deceleration lane for southbound Lincoln Avenue. The applicant is encouraged to provide input on these alternatives.

Consistency

In consideration of adopted Village Plans, the following items appear deficient:

- Based on the Zoning Ordinance a minimum of 553 off-street parking spaces are required for the hotel, restaurants, banquet facility, and spa. Not included within that parking calculation is the conference center and the additional retail/outlot construction. Based on the additional retail/outlot construction the Zoning Ordinance would require an additional 99-132 off-street parking spaces.
- The 20,000 square foot proposed new Touhy Avenue building is neither parallel to Touhy Avenue nor built to a 15 foot build-to line.
- Buildings can be reoriented to the created internal drive in order to further the vision of creating the “downtown”.
- New development is proposed as only a single story, whereas plans envision multi-story development. The multi-story development is encouraged to be mixed-use in nature with ground floor retail and office or residential above.
- Landscaping areas separating parking lots from public sidewalks appears absent at various location on the site plan.
- Except for one notation of a “feature element” at the apex of Lincoln-Touhy, plans do not show locations for sculptures, fountains or plazas with outdoor seating and appear devoid of any amenities that would encourage pedestrian use.
- In order to promote pedestrian-friendly environment there should be ample connections from the public sidewalk into the site/project.

General Comments

- Development timelines provided only relate to the renovation of the hotel facility and no information or timeline has been provided for any of the new buildings indicated on the site plan. Such development timeline(s) should be provided.
- Since it appears that development of the proposed new buildings is contemplated in later phase(s), site plan(s) should be submitted which illustrate site conditions that will exist at the completion of each planned phase. A final site plan should illustrate final development conditions for the proposed PUD.

- Uses for the new buildings are indicated simply as retail or office. Greater clarity should be provided and a list developed that more specifically identifies the retail uses that would be authorized to occupy these buildings. Consideration should be given to limiting the amount of office space that may occupy the ground level.

Site Plan Comment

- Site plan(s) presented should easily identify all site changes proposed (areas where parking or landscaping are removed and areas where parking or landscaping have been added).
- The existing lack of a landscape buffer between parking areas and public sidewalks should be corrected. Interior parking lot landscaping should be considered consistent with Village standards.

Parking

- Approximately 470 parking spaces are illustrated on plans presented for the entire 8.5 acre site. The applicant estimates approximately 422 parking spaces of the 470 illustrated are required for the hotel and related banquet/restaurant/spa facility. This calculation by the applicant is based on several assumptions which reduce their calculated need for parking. Even with these assumptions, the result is approximately 48 parking spaces remaining for the 30,000-40,000 square feet of additional retail and office space contemplated to be constructed on the site. For 40,000 square feet of general retail, the Village's parking standard requires at least 132 parking spaces. This 132 parking space calculation is based on the Village's standard for general retail use and any restaurant use or other higher intensity parking use in this 40,000 square foot planned space would require additional parking spaces to meet the Village's parking standards.
- Upon completion of the development, the applicant indicates that valet parking may be required for the banquet facility. Valet parking however does not change the off street parking count and suggests that the applicant contemplates parking vehicles at an undisclosed off site location due to lack of parking on the property.
- Maximum number of seats for the conference center and restaurant uses should be identified.

Site Circulation

- A new curb cut on Lincoln Avenue is proposed and 2 Lincoln Avenue curb cuts are proposed to be eliminated. A new drop off/arrival area is proposed on the north side of the hotel building. The proposed site plan however shows no easy access to this new hotel drop off area from either Touhy or Lincoln Avenue access points.
- The future development parcel located at the Lincoln-Touhy apex appears added on the site plan as an afterthought and if developed as proposed would create abrupt dead-end parking areas.

- The site plan should establish an internal drive in which the parking areas and entrances can be logically divided. As currently presented, the entirety of the off-street parking is a massing of parking aisles and rows. There is no distinctive central drive (i.e. street/roadway) for users to access the various parking fields. Establishing one or more primary internal drives can assist in creating the “downtown” envisioned by the Village Plans.
- The site plan does not provide an easy access to the loading berths and as a result there may be a concern regarding delivery truck access.



MEMORANDUM

To: Tim Clarke, Village of Lincolnwood

Project: 4500 West Touhy
Purple Hotel Property
Conceptual Plan Landscape Review
Lincolnwood, Illinois
Land Design Collaborative, Inc.

Date Prepared: January 16, 2013

Prepared by: Jim Gamble
Land Design Collaborative, Inc.

Introduction

The following review and comments are for the landscape review of the Conceptual Plan Submitted for Landscape in Section N of the Application Binder and identified as “L-2 Landscape Plan” and separate “Landscape Zone Elements” legend. Due to the conceptual nature of the plan some Village Ordinance specifics, such as tree spacing, are unable to be addressed without a more detailed plan submission. These comments address items falling under the Landscape Ordinance and include as appropriate, observations regarding site design, vehicular access, pedestrian access, and safety and security.

Landscape Ordinance Section Observations

6.12 Landscape Plans Required

- The plan submitted does not meet the requirements of this section. Of particular interest is the designation of existing trees to be removed and retained, shrub plantings, walkways, as well as identification of proposed plants by common and botanical name.
- The submittal does not contain an existing site survey showing landscape. Plan AD.0-010 is a Demolition Plan, not a survey as indicated in the Plan Set Index. There was no survey of existing trees over 6 inch caliper or plan indicating existing trees to remain and be removed.
- A detailed, dimensioned, landscape or site plan was not included making verification of tree spacing, landscape areas, and other dimensions impossible.

6.13 Design Planning and Preservation Criteria

Item (1) Landscape Design and Selection of Plant Material

- (4) Shrubs shall be used whenever possible: there appear to areas along the buildings, in landscape islands and parking lot edges needing softening and screening requiring shrubs. These should be shown in a detailed submittal.
- (5) Plants along long expanses of building walls: There are areas of the buildings (particularly #2) that would benefit from shrubs and other plantings.

3207 Central Street
Evanston, IL 60201

847/441-2800
office

847/441-2822
fax



Item (2) Existing trees with a six (6) inch caliper or greater shall be preserved on the property as determined by the Zoning Officer.

- There are a number of large trees, particularly Locust shade trees that potentially could be retained and should be identified on the plan.



Existing Trees

Item (9) Tree preservation During Construction

- The plans do not show trees to remove or those to preserve. A plan should be prepared with an "X" through trees to be removed.
- Tree protection requirements should be provided in the construction documents.

6.14 Minimum Landscape Requirements for Off-Street Parking

- (1) Perimeter Screening Required: The existing parking lot should be landscape screened along Touhy and Lincoln Avenues including a continuous wall (5 feet wide) or shrubs (8 feet wide). The planting shown does not indicate space for shrubs or a wall for screening the parking along these streets.



Existing Parking along Lincoln Ave. Sidewalk



- (2) Interior Landscape Requirements: These requirements should be applied. Particular attention should be paid to planting areas after 20 parking spaces.

6.15 Minimum Landscape Requirements for Foundation Plantings

- See item 6.13 item (4), (5) above.

6.17 Miscellaneous Landscape Requirements

- (1) Parkway landscaping see item 6.14 above.
- (3) Irrigation water service, There was no Irrigation Plan observed in packet.

Large Existing Trees

General Comments Regarding Site Design

Parking Lot layout

- The overall parking layout is incompatible with vehicular and pedestrian access to the front entry area and vehicular on-site circulation.
- The Entry Gateway is poorly located and vehicular access drives relative to the front entry are blocked by parking and landscaped islands creating confusing and circuitous driving patterns.

Pedestrian Walkways

- The walk along the south side of the building should have additional access from the roadway for pedestrians to safely step out of the roadway to the sidewalk.
- For aesthetic and safety/security reasons to avoid an entrapment potential near the dumpsters a decorative, lockable gate should be considered. It would improve the appearance and allow visibility from the roadway along this side of the building.
- Pedestrian Linkages from outer parking lots to Buildings are inadequate Additional walkways should be added for pedestrians walking between parking and building entries.
- Sidewalks adjacent to fronts of parking spaces (west and south/east) could be blocked by vehicles over hanging the walk.
- Walkways along the east side of Building 2 are not shown.

Pedestrian Safety

- Designated walkways should be clearly marked, wide enough to accommodate car overhangs, well lighted and associated with landscaped islands throughout the parking lots connecting to the building entries.
- The pedestrian routes from the parking lots to the east, west, and south to building entries are unclear.



- Pedestrian access is unclear between building #1 and Buildings #2 and #3. Will the building entries be located in this area? Will these entries require access codes or cards? The areas between the buildings need to be well lighted and safe with exits to prevent “trapping” of unaware pedestrians.



East Alcove between Building #1 and #3

- The dumpster bay and the east side stairway at the dumpster area are potential entrapment places and need to be lighted and secured.



East Side of Dumpster Area at Stairway

Touhy Avenue and Lincoln Avenue ROW and Intersection

- This intersection is a highly visible “gateway” for the community and the location of a plaza type improvement is excellent. The adjacent future development site needs to be properly buffered so that it does not compromise the gateway effect.



Summary

General

Unfortunately the conceptual nature of the plan makes more detailed comments impossible. Further, comments on the proposed parking lot expansion to the west are not included (shown in background on sheet G-002 "Site") which are subject to review as part of Lincolnwood's ComEd Bikeway project. Potentially the site plan layout along the west edge will require changes.

Key Points

- Provisions for adequate space (3 feet width) for required hedge plantings meeting the landscape Ordinance for parking lot screening along Touhy and Lincoln Avenue does not appear to be provided.
- The walkways and pedestrian links to and through the parking lots as well as connections to the public sidewalk are sparse and need to be improved.
- East and west alcoves between Building 1 and Buildings 2 and 3, and the Building #2 dumpster area are potential entrapment places and "escape routes" need to be provided for pedestrians.
- There are a number of large shade trees on site which should be retained if possible.
- Site and pedestrian lighting is essential to provide safe pedestrian routes and to illuminate dark areas adjacent to the building.
- The Com Ed right-of-way connection should be pursued with the Lincolnwood Park Department as soon as possible regarding parking layout and bikeway access.





MEMORANDUM

TO: Development Review Team
FROM: Jim Johnson, Village Engineer
DATE: January 17, 2013
SUBJECT: 4500 West Touhy Avenue

As there are no engineering plans or supporting information, my comments regarding the subject project are general.

Traffic and Parking

The applicant needs to provide a detailed traffic and parking analysis. Of note:

1. Touhy and Lincoln traffic impacts.
2. Curbcut locations and modifications.
3. Site lines.
4. The current west entrance off Touhy will cause traffic stacking problems internal and external to the site.
5. The parking field configuration is haphazard.
6. There are no indications of pedestrian and vehicular segregation within the parking field.
7. The proposed ComEd parking field is not shown.
8. The number of parking stalls does not appear to address the required demand. With other site improvements (e.g., streetscape, stormwater management), the applicant should consider a parking structure.

Stormwater Management

The applicant needs to provide appropriate stormwater management facilities to address the significant impervious area. Any stormwater improvements need to address water quality as well as water quantity.

If the applicant has questions or needs additional information, please have them contact me at jjohnson@lwd.org or 847-745-4862.

Department of Public Works
Staff Plan Review



MEMORANDUM

TO: Development Review Team

FROM: Ashley Engelmann, Assistant to the Public Works Director

DATE: January 15, 2013

SUBJECT: 4500 W Touhy Avenue

The Public Works Department has reviewed the information submitted by North Capitol Group. The following comments are made for your consideration:

Trees

There are numerous trees within and along the perimeter of the property. Many of them are considered nuisance species and should be removed by the property owner. No formal landscape plan was submitted therefore staff did not direct the Village Arborist to inspect each tree because due to the number of trees it would not be cost effective for him to conduct an evaluation. A formal landscape plan needs to be included that indicates the species of each tree, their corresponding diameter and whether or not they are planned for removal. New plantings should be noted as well and should also include the species and diameter. Any tree planned for removal that is greater than 8" in diameter must be inspected by the Village Arborist. The Village's landscape requirements shall be followed which requires that a tree be planted every 25 feet along the perimeter and that the tree must be at least 2 ½" in diameter.

Sidewalk

The plan does not indicate that any sidewalk will be added or removed. The condition of the sidewalk around the perimeter of the building is poor and there are also gaps in which sidewalk does not exist. The Department is recommending that the perimeter sidewalk be replaced and that new sidewalk be installed within any gaps. The sidewalks must be at least five feet wide and follow all ADA requirements. Sidewalk needs to meander around existing utilities.

Stormwater Ordinance

- All requirements of the Village's Stormwater Ordinance must be followed per the Village Engineer's comments

Department of Public Works
Staff Plan Review

Potable Water

- The new water meter and RPZ's must be installed inside of a mechanical room with fire and domestic lines

General Comments

- Existing hydrants and street lights should be shown on the plan
- The plan appears to indicate that the main entrance to the property will be on Lincoln Avenue across from Chase Avenue, is the petitioner planning to request a traffic signal at this location, and is the width for the ingress/egress sufficient for a main entrance? Also, how will semis move through the entrance the deliveries?
- Should the Village require hydrants within the property- defer to the Fire Department
- The "Feature Element" must meet all line of sight requirements
- The petitioner should consider permeable pavers within the parking lot to help offset Stormwater Ordinance requirements

Do not hesitate to contact me with any questions you may have regarding this review.

Ashley Engelmann

VILLAGE PRESIDENT
Gerard C. Tarry

VILLAGE CLERK
Beryl Hermer

VILLAGE ADMINISTRATOR
Timothy C. Weberg



TRUSTEES
Lawrence A. Elster
Lawrence M. Froman
Thomas Herlike
Nicholas LeBlakes
Jensel B. Patel, Sr.
Reuben Sprague-Walton

January 15, 2013

Aaron Cook
Development Manager
Lincolnwood, IL 60712

Regarding: Purple Hotel

Dear Aaron,

Per your request I looked through the binder for the Conceptual Plan Review Application R2012-1714 for proposed revisions to the greater Purple Hotel site and buildings. Do to the small scale of the plans and documents I was not able to do a complete review however you may wish to have the applicant address the following items.

1. Provide all required Accessible Parking Spaces per state law and comply with all ADA requirements.
2. Verify site lines at all corners and driveway intersections with surrounding streets. IDOT approvals may need to be obtained.
3. Detail any plans and new agreements for cell antennas to be located on the buildings. The existing Cell On Wheels is not shown.
4. The plans were not reviewed for code compliance. This will be done by the TPI office when the plans are submitted for review.
5. Provide full size copies of pages A.1-300 through A-500 to review the conceptual designs.
6. It is assumed that the reconstruction and new construction will comply with all current codes and the 2012 IECC for energy compliance. Walls, roofs, and fenestration should be brought up to code.
7. Verify that all existing utilities will have sufficient capacity to satisfy the requirements of the proposed completed project.
8. Hydraulic calculations will need to be provided to verify capacity for fire sprinkler systems.
9. Televisise existing sanitary sewers to determine that they are sound and not allowing infiltration.
10. Provide calculations and details to comply with storm water runoff requirements.

Sincerely,

Tom Hatzold / TPI Building Code Consultants
Village of Lincolnwood Community Development Department, 847-745-4791



VILLAGE OFFICES • 8900 N. LINCOLN AVENUE • LINCOLNWOOD, ILLINOIS 60712 • 847-673-1540 • FAX: 847-673-9332
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LINCOLNWOOD FIRE DEPARTMENT

6900 N. LINCOLN AVENUE – LINCOLNWOOD, ILLINOIS - 60712

PHONE: 847-673-1545 FAX: 847-673-7456

Lt. Clyde G. Heineman
Director of Fire Prevention
cheineman@lwd.org

To: Developmental Plan review Team Members
From: Lt. Clyde Heineman
Date: 1-14-2013

Developmental Plan Review

Address: 4500 W. Touhy Avenue

Business Name: The Purple Hotel

Date Plans Received: 1-11-2013

Date Plan Reviewed: 1-14-2013

Building Square Footage: (Varied)

Proposed Occupancy Load: (Varied)

Comments:

1. All plans will be reviewed to the currently adopted versions of the NFPA code set including, but not limited to NFPA 1 Fire Code 2009 Edition, NFPA 13 Standard for the Installation of Sprinkler Systems 2010 Edition, NFPA 14 Standard for the Installation of Standpipes and Hose Systems 2010 Edition, NFPA 17A Standard for Wet Chemical Extinguishing Systems 2009 Edition, NFPA 20 Standard for the Installation of Stationary Pumps for Fire Protection 2010 Edition, NFPA 24 Standard for the Installation of Private Fire Service Mains and Their Appurtenances 2010 Edition, NFPA 70 National Electrical Code® 2011 Edition, NFPA 72 National Fire Alarm and Signaling Code 2010 Edition, NFPA 80 Standard for Fire Doors and Other Opening Protectives 2010 Edition, NFPA 92A: Standard for Smoke-Control Systems Utilizing Barriers and Pressure Differences, 2009 Edition, NFPA 92B Standard for Smoke Management Systems in Malls, Atria, and Large Spaces, 2009 Edition, NFPA 96 Standard for Ventilation Control and Fire Protection of Commercial Cooking Operations 2011 Edition, NFPA 101®*Life Safety Code*® 2012 Edition, NFPA 105 Standard for the Installation of Smoke Door Assemblies and Other Opening Protectives 2010 Edition, NFPA 110 Standard for Emergency and Standby Power Systems 2010 Edition, as well as the 2006 International Fire Code
-

2. The number of exits, and exit widths provided throughout the buildings has not changed from the original design of the existing structure. Architectural plans will need to be reviewed for compliance with the existing ICC Code set & NFPA 101® *Life Safety Code*® requirements.
 3. The existing stairway to the lower level from the main level banquet area was found to be non-compliant for inadequate separation and was flagged by the State Fire Marshalls Office a number of years ago. Any construction changes will need to address this deficiency
 4. The existing sprinkler system has been subjected to several years of freeze /thaw cycles. All existing sprinkler piping and components must be removed due to years of exposure to freezing conditions. A new NFPA 13 compliant sprinkler system shall be installed throughout.
 5. Fire Department Connection(s) location(s) to be determined in conjunction with the Fire Prevention Bureau, the sprinkler contractor and the plan reviewer prior to final design.
 6. The existing fire pump on the system has been submerged in the flooded basement and subjected to several years of freeze / thaw cycles. A new pump compliant with NFPA 20 shall be installed.
 7. A complete fire alarm and communication system compliant with NFPA 72 shall be provided per High Rise requirements of the NFPA 101® *Life Safety Code*®.
 8. The fire alarm system is required to be connected to the fire department dispatch center by way of the Village of Lincoln fire alarm radio network. The fire alarm contractor will be required to coordinate with the Village of Lincoln for installation of the radio by the Village's radio contractor at the completion of the alarm systems installation.
 9. Any kitchen hood installed must be equipped with a hood & duct suppression system compliant with NFPA 96 for mechanical & NFPA 17A for fire suppression, and be connected to the fire alarm system.
 10. The installation of a Knox Box® (Key Box) at each entrance not open 24/7/365 will be required.
 11. Water supply for fire suppression will need to be evaluated and possibly expanded beyond that of the existing hydrant locations.
 12. Any combustibile construction currently above the ceilings will need to be replaced with non-combustible construction or protected by the fire sprinkler system.
 13. Provide access on all sides for fire department ladder tower vehicle placement.
-



LINCOLNWOOD POLICE DEPARTMENT

INTER-OFFICE MEMO

Robert LaMantia
Chief of Police

To: Mr. Tim Clarke, Community Development Director

From: Lieutenant Randall Rathmell # 243

Date: January 16, 2013

Subject: Purple Hotel Redevelopment Plan Review

We have reviewed the conceptual plan submission for the Purple Hotel Property located at 4500 West Touhy Avenue. Examination of the proposed parking areas plan shows a design which appears to provide natural surveillance of the location for both law enforcement and the public by eliminating visual obstacles or concealment for potential offenders. Sufficient on-site exterior lighting will be provided which is an important consideration as a crime prevention tool in order to safeguard parked vehicles and reduce the potential for criminal damage and vandalism on the property. We recommend a left only turn lane northbound North Lincoln Avenue into the entry gateway at West Chase Avenue to minimize the potential for traffic congestion on adjacent roads and streets. We also recommend the coordination of appropriate pedestrian crosswalks and unobstructed lines of sight on North Lincoln Avenue at West Chase Avenue due to increased pedestrian and vehicular traffic near the property.

Safe designated pedestrian walkways should be provided on the property including both the south side of the building as well as the east side of Building # 2. This will assist pedestrian access from the roadway to the sidewalk and prevent possible pedestrian "entrapment" on the site. This will also serve to define walking areas between parking lots and buildings. Installation of a security gate to control access and provide safety near the dumpster bay area should be considered. Management may further safeguard the property by issuing access codes or cards for hotel patron entry into the building.

In addition, consideration of a security system which includes the installation of alarms, cameras, sensor lights and intrusion detectors made visible to potential offenders, will deter Theft and assist in a criminal investigation. We respectfully request possibly positioning cameras in both the parking lots, hotel floors and commercial businesses located on the property to help law enforcement investigate Burglaries or other crimes which may occur on the site. New site trees and landscaping along property lines establish natural boundaries for the location.

The remainder of the developer's plan should not impact public safety, traffic, line of sight, access to emergency vehicles, pedestrian traffic, police service or the neighborhood.

Thank you for your consideration on this matter.

**VILLAGE OF LINCOLNWOOD
CONCEPTUAL PLAN REVIEW APPLICATION**

Per Village Resolution No. R2012-1714

For

4500 WEST TOUHY





DLA Piper LLP (US)
203 North LaSalle Street, Suite 1900
Chicago, Illinois 60601-1293
www.dlapiper.com

Harold W. Francke
harold.francke@dlapiper.com
T 312.368.4047
F 312.630.5380

By Hand Delivery

December 31, 2012

Mr. Tim Clarke, Director of Community Development
Mr. Aaron Cook, Development Manager
Village of Lincolnwood
6900 North Lincoln Avenue
Lincolnwood, Illinois 60712

Re: North Capital Group / Purple Hotel Property / Conceptual Plan Submission

Gentlemen:

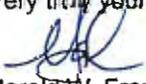
Pursuant to Sections 8.05(2)(c) and 8.06(2) of the Village Zoning Ordinance and Village Resolution No. R2012-1714, and in anticipation of our January 23, 2013 Plan Commission workshop, we are pleased to be submitting to you the following:

1. the documents and information submitted to the Village in advance of our recent preapplication conference before the Village Board of Trustees; and
2. the following information required to be submitted by Section 8.06(3) of the Zoning Ordinance: Detailed Plan, Site Data Information, Statement of Purpose, Ownership Statement, Development Schedule, Nonresidential Use Information, Description of Service Facilities, Architectural Plans, Preliminary Landscape Plan, and Market Study.

Information required to be submitted by Section 8.06(2) of the Zoning Ordinance but not included with this correspondence will be submitted to the Village by no later than February 28, 2013, as required by Resolution No. R2012-1714.

Please contact me with any questions or if any additional information is required at this time.

Very truly yours,


Harold W. Francke

cc: Tim Wiberg
Steve Elrod
Hart Passman
Jake Weiss
Tom Brantley



VILLAGE OF LINCOLNWOOD
Community Development Department

Public Hearing Application
Special Use & PUD

SUBJECT PROPERTY

Property Address: 4500 Touhy Avenue, 4560 and 7350 Lincoln Avenue

Permanent Real Estate Index Number(s): 10-27-317-049, 050, 051, 052, 055

Zoning District B-3 Village Center Lot Area: 373,846 SF (8.58 acres)

Planned Development District

List all existing structures on the property. Include fencing, sheds, garages, pools, etc.

A 294-room masonry hotel consisting of three connected buildings of 3.5 and 7 stories and an attached restaurant/banquet facility

Are there existing development restrictions affecting the property? X Yes No
(Examples: previous variations, conditions, easements, covenants)

If yes, describe: see certain easements shown on included survey

REQUESTED ACTION

Special Use - Non-Residential

Planned Unit Development (PUD)

Special Use - Residential

Other

PROJECT DESCRIPTION

Describe the Request and Project: see attached Exhibit A

PROPERTY OWNER/PETITIONER INFORMATION

Property Owner(s):

Name: (List all beneficiaries if Trust): North Capital Group, LLC (Attn: Jake Weiss)

Address: 8170 McCormick Boulevard, Suite 100, Skokie, Illinois 60076

Telephone: (847) 329-7600 Fax: (847) 329-7676 E-mail Address: jake@weissproperties.com

Attorney:

Harold W. Francke

Name: DLA Piper LLP (US) Relationship to Property: Attorney for Owner

Address: 203 North LaSalle Street, Suite 1900, Chicago, Illinois 60601

Telephone: (312) 368-4047 Fax: (312) 630-5380 E-mail Address: harold.francke@dlapiper.com

REQUIRED ATTACHMENTS

Check all documents that are attached:

- Plat of Survey X
- Site Plan X
- Proof of Ownership X
- Floor Plans X
- Elevations X
- Applicable Zoning Worksheet
- Photos of the property X
- PDF files of all drawings X

For Office Use Only

Fee: _____ Deposit: _____

Date Received: _____

Checked By: _____

The article(s), section(s) and paragraph(s) of the Village of Lincolnwood Zoning Ordinance from which the Action is being sought:

**The above documents are required for all applications. The Zoning Officer may release an applicant from specific required documents or may require additional documents as deemed necessary.*

COST REIMBURSEMENT REQUIREMENT

The Village requires reimbursement of certain out-of-pocket costs incurred by the Village in connection with applications for zoning approvals and relief. These costs include, but are not limited to, mailing costs, attorney and engineer costs, and other out-of-pocket costs incurred by the Village in connection with this application. In accordance with Section 5.02 of the Village of Lincolnwood Zoning Ordinance, both the petitioner and the property owner shall be jointly and severally liable for the payment of such out-of-pocket costs. Out-of pocket costs incurred shall be first applied against any hearing deposit held by the Village, with any additional sums incurred, to be billed at the conclusion of the hearing process.

Invoices in connection with this application shall be directed to:

Name: Karina Meza c/o Weiss Properties

Address: 8170 McCormick Boulevard, Suite 100

City, State: Skokie, Illinois 60076

ATTESTMENT AND SIGNATURE

I hereby state that I have read and understand the Village cost reimbursement requirement, as well as the requirements and procedures outlined in Article V of the Village Zoning Ordinance, and I agree to reimburse the Village within 30 days after receipt of an invoice therefor. I further attest that all statements and information provided in this application are true and correct to the best of my knowledge and that I have vested in me the authority to execute this application.

PROPERTY OWNER
NORTH CAPITAL GROUP

PETITIONER (If different than property owner)

By: _____

 Signature Date

 Signature Date

 Jake Weiss

PRINT NAME

PRINT NAME



VILLAGE OF LINCOLNWOOD

COMMUNITY DEVELOPMENT DEPARTMENT

SPECIAL USE STANDARDS

(See attached Exhibit A)

To be approved, each special use request must meet certain specific standards. These three standards are listed below. After each listed standard, explain how the special use request satisfies the listed standard. Use additional paper if necessary.

1. Please explain how the use is necessary for the public convenience at this location, and the subject property is deemed suitable for the use. (Please explain in detail)

See attached Exhibit A

2. Please explain how the use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.

See attached Exhibit A

3. Please explain how this use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

See attached Exhibit A

4. The special use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

See above (#3)

5. The special use is consistent with the goals and policies of the Comprehensive Plan.

See attached Exhibit A

6. Please explain how the special use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.

See attached Exhibit A

7. Please explain how the special use is so designed to provide ingress and egress to minimize traffic congestion on public streets.

See attached Exhibit A

**EXHIBIT A TO APPLICATION FOR
PRELIMINARY PUD APPROVAL
"NORTH CAPITAL GROUP/PURPLE HOTEL PROPERTY"**

PROJECT DESCRIPTION

Describe the Request and Project:

North Capital Group is requesting preliminary planned unit development approval for the 8.5 acre parcel of property situated at the intersection of Touhy Avenue and Lincoln Avenue and commonly known as the "Purple Hotel Property." The planned unit development contemplates the complete renovation of the historic hotel building that exists on the property and the future construction of approximately 30,000-40,000 square feet of new and additional retail and office uses in a cohesively designed and unified plan of development. The renovated hotel will be a full-service boutique hotel with attached banquet and themed restaurant facilities.

SPECIAL USE STANDARDS

#1 Please explain how the use is necessary for the public convenience at this location, and the subject property is deemed suitable for the use.

The proposed development will be a unique, first-class hospitality, banquet and dining facility that will serve as a destination for local residents, local businesses and tourists. It will create a focal point for new commercial and retail investment in the Village at a prominent intersection in the Village. The contemplated uses of the property will contribute to the public convenience by creating opportunities for business conferences, special event receptions and restaurant dining that do not presently exist in this locale.

The suitability of the site for the proposed uses is demonstrated by the decades-long prior use of the property for similar uses, the availability of existing utility and roadway infrastructure, and the proximity of the site to the Edens Expressway.

#2 Please explain how the use is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.

The site is located at an existing, significant and heavily trafficked intersection in the Village – the intersection of Touhy Avenue and Lincoln Avenue – which makes it well situated for the proposed uses. The development will provide adequate on-site parking and traffic circulation and be designed to minimize the potential for traffic congestion on adjacent roads and streets. On-site lighting and passive monitoring will be provided to reduce the potential for criminal activity and vandalism which has been an issue for the surrounding properties and the Village in

the past. Buildings and businesses will be operated and maintained in accordance with all applicable Village codes and regulations.

#3 Please explain how this use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

The uses Owner is proposing to construct on the property are consistent with previous uses of the property. Owner's prior remediation of the previous dilapidated condition of the property and the buildings existing on the property, its construction of the building improvements, infrastructure and signage Owner anticipates constructing, and the proposed significant new investment of capital in the property will help stabilize and enhance the value of adjacent properties and add to their desirability as either investment or residential properties.

#4 The special use would not cause substantial injury to the value of other property in the neighborhood in which it is located.

See response to Standard #3 above.

#5 The special use is consistent with the goals and policies of the Comprehensive Plan.

This proposed special use is consistent with the goals of the Comprehensive Plan as it directly provides the following elements identified in the Plan: (i) the promotion of growth and the redevelopment of a commercial/business area in the Village with a mixed-use project that combines both private and public investment, (ii) the addition of significant new hotel, conference, banquet and dining facilities will serve to keep property taxes low as they contribute additional revenue to the Village, (iii) the hospitality, dining and entertainment elements of the project will maintain a community image that is unique to Lincolnwood; and (iv) the removal of vacant and abandoned property from a significant arterial corridor within and gateway to the Village will improve the appearance along such corridor and at such entryway to the Village.

The proposed redevelopment of the subject property will also be consistent with the Vision Statement of the Village's Vision 2020 Plan by helping maintain a strong business sector, low tax rates, and strong property values. It will also further the following recommendations of such Plan: (i) maintain a diverse and expanded revenue base; (ii) improve and maintain the parkway along Lincoln Avenue; and (iii) improve the signage on commercial properties in the Village.

The proposed redevelopment of the subject property will also further the following objectives and strategies of the Lincoln-Touhy TIF District Redevelopment Plan: (i) the elimination of blight and other negative factors that are present in the area; (ii) the sending of a signal to other private parties that they should invest in the area; (iii) the creation of an attractive overall appearance for the area in general and for the Lincoln Avenue corridor in particular; (iv) the

creation of a pedestrian-friendly environment and a real sense of place; (v) contribution to the economic development of the area; (vi) the provision of new employment opportunities for Village residents; and (vi) furthering the goals and objectives of the Village's Comprehensive Plan.

Finally, the proposed redevelopment will further goals and objectives of the Lincoln Avenue Corridor Plan and the Village's Streetscape Plan by creating new uses (e.g., a boutique hotel, a banquet facility, and new dining establishments) which encourage the public to gather and by providing new landscaping along the Lincoln Avenue right-of-way.

#6 Please explain how the special use is so designed to provide adequate utilities, access roads, drainage, or necessary facilities.

Adequate sanitary sewer and potable water facilities will be provided to the development via the Village's existing utility infrastructure. In addition, the development will be designed and constructed in accordance with the Village's Stormwater Management Ordinance so that there is no adverse drainage impact on surrounding properties.

As for ingress and egress to the development and traffic circulation within the development please see below.

#7 Please explain how the special use is so designed to provide ingress and egress to minimize traffic congestion on public streets.

Access to and from the development will be designed to provide safe, efficient and orderly access for all modes of transportation (vehicles, pedestrians and bicycles). A sufficient number of access drives will be provided and located so as to facilitate safe and efficient circulation within the development and mitigate the impact of the development on the external roadway system. All external roadway improvements will be constructed in accordance with permits issued by the Illinois Department of Transportation. The development will provide a connection to the bike path the Village contemplates constructing to the west of the subject property.

8.06 SPECIFIC CONTENT

Applications for a Planned Unit Development Plats shall include at least the following documents and information, unless waived by the PC/ZBA :
(Ordinance No. Z2009-368).

(1) Pre-Application Stage (Required):

- a. General Site Information: Data regarding site conditions, land characteristics, available community facilities and utilities, existing covenants, and other related information.
- b. A plat of survey of the subject property.
- c. Sketch Plan: A drawing in simple sketch form showing the proposed location and extent of the land uses, streets, lots and other features.
- d. Legal Description: A complete property survey and legal description of the site proposed for development.
- e. A written description of the proposed Planned Unit Development, describing the purpose of the development and proposed land uses.

(2) Conceptual Plan Stage (Optional):

- a. All materials required pursuant to Section 806(1) of this Article for the Pre-Application Conference.
- b. Any or all of the materials otherwise required pursuant to Section 8.06(3) of this Article for preliminary approval of the proposed Planned Unit Development.

(3) Preliminary Approval Stage (Required):

- a. Detailed Plan: A drawing of the Planned Unit Development shall be prepared at a scale of not less than one inch to one hundred feet (1"-100') and shall show such designations as proposed streets (public and private), all buildings and their uses, common open space, recreation facilities, parking areas, service areas, and other facilities to indicate the character of the proposed development. The submission may be composed of one or more sheets and drawings, and shall include, without limitation:
 - i. Boundary lines - bearings and distances.
 - ii. Easements - location, width and purpose.
 - iii. Streets on and adjacent to the tract - street name, right-of-way width, existing or proposed center line elevations, pavement type, walks, curbs, gutters, and culverts.
 - iv. Utilities on and adjacent to the subject property - location, size and invert elevation of sanitary, storm and combined sewers; location and size of water mains; location of gas lines, fire

hydrants, electric and telephone lines, and street lights; direction and distance to and size of nearest usable water mains and sewers adjacent to the tract showing invert elevation of sewers.

- v. Ground elevations on the subject property.
- vi. Other conditions on the subject property - watercourses, flood plains, marshes, rock outcrops, wooded areas, isolated preservable trees one foot (1") or more in diameter, houses, accessory buildings, and other significant features.
- vii. Other conditions on adjacent land - approximate direction and gradient of ground slope, including any embankments or retaining walls; character and location of major buildings, railroads, power lines, tower, and other nonresidential land uses or adverse influences; owners of adjacent unplatted land; for adjacent platted land refer to subdivision plat by name, and show approximate percent built-up, typical lot size and dwelling type.
- viii. Zoning - show zoning districts on and adjacent to the subject property.
- ix. Proposed public improvements - highways or other major improvements planned by public authorities for future construction on or near the subject property.
- x. Open space - all parcels of land intended to be dedicated for public use or reserved for the use of all property owners, with the purpose intended.
- xi. Structures - general location, purpose and height, in feet or stories, of each building.
- xii. Map data - name of development, name of site planner, north point, scale, date of preparation, and acreage of site.
- xiii. Miscellaneous - such additional information as may be required by the PC/ZBA.

b. Site Data: A written explanation of the graphic elements of the plan, including:

- i. Description and quantity of land uses;
- ii. Description of residential units by type;
- iii. Number of dwelling units;
- iv. Estimated population; and
- v. Description of the development standards and design criteria.

c. Subdivision Plat: If the subject property is to be subdivided in connection with the proposed Planned Unit Development, a preliminary subdivision plat shall be submitted, in compliance with the requirements of the Subdivision Ordinance.

d. Statement of Purpose: A statement of the purpose and planning objectives to be achieved by the proposed Planned Unit Development. This statement should include a description of the character of the proposed development, the proposed land uses, any

proposed exceptions to the otherwise-applicable regulations set forth in this Zoning Ordinance, and the rationale behind the assumptions and choices of the Applicant.

- e. **Ownership:** Statement of present and proposed ownership of all land within the proposed Planned Unit Development, including present tract designation according to official records in offices of the County Recorder of Deeds. If legal title to the property is in trust, then a statement of the names and percentage of interest of all the beneficiaries shall be submitted. If legal title to the property is in a corporation, limited partnership or other legal entity, then a statement of the names of all persons or entities owning ten percent (10%) or more of the stock or other ownership interest shall be submitted.
- f. **Schedule:** Development schedule, indicating:
 - i. The stages in which the proposed Planned Unit Development project will be constructed, with an emphasis on the area, density, use and public facilities such as open space to be developed within each stage. The overall design of each stage shall be shown on the Site Plan and through supporting graphic material.
 - ii. The approximate dates for the beginning and completion of each stage of development.
- g. **Covenants:** Proposed agreements, provisions or covenants which will govern the use, maintenance and continued protection of the proposed Planned Unit Development.
- h. **Density:** Information on the density of residential uses, including the number of dwelling units per acre, the number of dwelling units by type, the number of buildings by type, and the number of bedrooms in each dwelling unit type.
- i. **Nonresidential Use:** Provide information on the type and amount of ancillary and nonresidential uses, including the amount of common open space.
- j. **Service Facilities:** Provide information on all service facilities and off-street parking facilities.
- k. **Architectural Plans:** Preliminary architectural plans for all primary buildings shall be submitted in sufficient detail to afford an understanding of the style of the development, the design of the building, and the number, size and type of dwelling units. The floor area of all building types, and the total ground coverage and height of buildings, shall also be provided.
- l. **Environment:** A preliminary statement identifying existing natural and environmental resources and the method to protect the physical

amenities of the site, including information on topography, surface hydrology, vegetation and natural coverage, and soils and subsurface conditions.

- m. Utilities: A preliminary engineering study providing information on existing and proposed sanitary, storm, water and other utilities necessary to adequately service the proposed Planned Unit Development.
- n. Landscape Plans: Preliminary plans for vegetation, earth sculpturing, berming and aesthetic features shall be submitted in accordance with Part D of Article VI of this Zoning Ordinance. (Ordinance No. Z2009-368).
- o. Facilities Plans: Preliminary plans or information demonstrating the adequacy of service to the proposed PUD shall be submitted for:
 - i. Roads, including classification, width of right of way, width of pavement and typical construction details;
 - ii. Lighting programs; and
 - iii. Sidewalks, paths and cycle trails.
- p. School Impact Study: Information on the tax impact of the proposed PUD on local school districts, including details regarding student load, student scheduling, and the financial impact.
- q. Tax Impact Study: Information on the taxes to be generated by the proposed PUD and the cost to the various taxing bodies to provide the necessary services to the development.
- r. Traffic Analysis: Information on the adequacy of the local transportation and thoroughfare system to handle anticipated traffic volumes generated by the proposed Planned Unit Development, along with an analysis of the adequacy of the internal vehicular circulation pattern.
- s. Market Study: An economic feasibility study of the proposed Planned Unit Development, including information on land utilization and marketing potential. Evidence should be presented showing the need and feasibility of the proposed development.

(4) Final Plat Stage (Required):

- a. Subdivision Plat: If the subject property is to be subdivided in connection with the proposed Planned Unit Development, a final subdivision plat shall be submitted, in compliance with the requirements of the Subdivision Ordinance.
- b. Common Open Space Documents: All common open space may be either conveyed to a municipal or public corporation, conveyed to a

8.06(2)
CONCEPTUAL
PLAN STAGE
Submission
for
4500 West Touhy
“Purple Hotel”

8.06(2)(a) All materials required
pursuant to Section 8.06(1)

8.06(2)(b) Any materials required
pursuant to Section 8.06(3)

8.06(1) Pre-Application Stage (items a-e)
Previously submitted on 12/18/2012

Request For Board Action

REFERRED TO BOARD: December 18, 2012

AGENDA ITEM NO: 4

ORIGINATING DEPARTMENT: Community Development

SUBJECT: Pre-Application Conference with North Capital Group Concerning a Planned Unit Development (PUD) for the Purple Hotel Properties located at the Northeast Corner of Touhy and Lincoln Avenues

SUMMARY AND BACKGROUND OF SUBJECT MATTER:

The first step in the Village's Planned Unit Development (PUD) process is the presentation of plans to the Village Board. This step is called the Pre-Application Conference and it occurs prior to any staff review of plans or the filing of a PUD application by the petitioner and scheduling of the matter for public hearing. The purpose of this first step is simply to both inform the Village Board of a pending PUD proposal and to also allow the Village Board to provide its initial comments on the proposal to the petitioner. Any such comments are considered nonbinding and no formal action by the Village Board is necessary.

North Capital Group now requests this Pre-Application Conference with the Village Board for their proposed PUD Development of the Purple Hotel Properties. Attached is a description of this PUD proposal, as well as a site plan and related material. As proposed, the centerpiece of this PUD would be the renovation of the existing Purple Hotel building and the construction of 30,000-40,000 square feet of space for retail and office uses. As described, the renovated hotel building is envisioned to become a full-service boutique hotel with banquet and restaurant facilities.

Representatives for North Capital Group plan to be present at the December 18, 2012 Village Board meeting to present these plans to you and to solicit your initial comments on this proposal.

FINANCIAL IMPACT:

None

DOCUMENTS ATTACHED:

1. Letter requesting Pre-application Conference
2. Site information
3. Project Description
4. Site Plan
5. Survey

RECOMMENDED MOTION:

No action by the Village Board is necessary on this matter.



DLA Piper LLP (US)
203 North LaSalle Street, Suite 1900
Chicago, Illinois 60601-1293
www.dlapiper.com

Harold W. Francke
harold.francke@dlapiper.com
T 312.368.4047
F 312.630.5380

December 13, 2012

VIA EMAIL

Mr. Timothy C. Wiberg
Village Manager
Village of Lincolnwood
6900 North Lincoln Avenue
Lincolnwood, Illinois 60712

Re: North Capital Group / Purple Hotel Property

Dear Mr. Wiberg:

We are pleased to be submitting to you this request for a Pre-Application Conference with the Board of Trustees to discuss the planned unit development our client, North Capital Group LLC, is proposing to construct on the properties situated at 4500 Touhy Avenue, 4560 Touhy Avenue and 7350 Lincoln Avenue. With this correspondence we are submitting to you electronic copies of the following documents, as required by Section 8.06(1) of the Zoning Ordinance:

1. General Site Information Sheet;
2. Plats of Survey of the parcels owned by our client with legal descriptions noted thereon;
3. A Sketch Plan of the proposed PUD; and
4. A written description of the proposed planned unit development.

Under separate cover you will be receiving two paper copies of the foregoing documents directly from our client as required by Section 8.05 of the Zoning Ordinance.

We are submitting the foregoing to you with the hope that the Village Board will entertain our request and conduct the requested Pre-Application Conference at its meeting next week.

This will confirm that, prior to December 31, 2012, we will be submitting to the Village the information required by 8.06(2) of the Zoning Ordinance with the goal of appearing before the Plan Commission on January 23, 2013, for purposes of conducting a conceptual plan workshop with that body.

After receiving feedback from the Board of Trustees, Plan Commission and Village staff our client will then file with the Village, on or before February 28, 2013, its final Public Hearing Application (Special Use & PUD), together with all plans, studies, documents, and information required to be submitted by Section 8.06(3) of the Zoning Ordinance, to the extent the same has not been previously delivered to the Village, so that the Plan Commission can conduct a public hearing on our client's application on March 6, 2013, or on such later date as the Plan Commission may deem appropriate.



Mr. Timothy C. Wiberg
Village Manager
Village of Lincolnwood
December 13, 2012
Page 2 of 2

Based on the foregoing, we further request that the Board of Trustees, pursuant to Section 5.B of the Pre-Development Agreement dated July 17, 2012, consider the adoption of a resolution extending to February 28, 2013, the time for North Capital Group to file its final application for preliminary planned unit development approval, and that the Board provide in such resolution confirmation that the Village will deem North Capital Group to have fulfilled its obligations under said Section 5.B if it fulfills the commitments made above.

Please contact me with any questions or if any additional information is required at this time.

Very truly yours,

A handwritten signature in blue ink, appearing to read 'Harold W. Francke'.

Harold W. Francke

cc: Tim Clarke
Aaron Cook
Steven M. Elrod
Hart Passman
Jake Weiss
Tom Brantley

**NORTH CAPITAL GROUP, LLC
PURPLE HOTEL PROPERTY**

Application for Planned Unit Development Approval

GENERAL SITE INFORMATION SHEET

Location: Northwest corner of Touhy Avenue and Lincoln Avenue.
Common addresses: 4500 West Touhy Avenue, 4560 Touhy Avenue and 7350 Lincoln Avenue.

Physical Characteristics: The site consists of an irregular shaped parcel with 900.84 feet of frontage along the north side of Touhy Avenue and 894 feet of frontage on the west side of Lincoln Avenue. The site contains a total area of 373,846 square feet or 8.5823 acres.

Property Tax Index Nos.: 10-27-317-050, 052 & 055 (Purple Hotel Property)
10-27-317-049 & 051 (former Foster Bank property).

Access: There are presently three curb cuts with traffic light access along the north side of Touhy Avenue, which is a four-lane thoroughfare, and three curb cuts along the west side of Lincoln Avenue, which is a two-lane thoroughfare.

Topography & Drainage: The site is relatively level with street grade. According to Flood Insurance Rate Map Community-Panel Number 1703290001C, dated March 16, 1981, the subject property lies in Flood Zone C, an area of minimal flooding.

Current Zoning: B-3, Village Center Planned Development District.

**NORTH CAPITAL GROUP, LLC
PURPLE HOTEL PROPERTY**

Application for Planned Unit Development Approval

DESCRIPTION OF THE PLANNED UNIT DEVELOPMENT

North Capital Group is requesting preliminary planned unit development approval for the 8.5 acre parcel of property situated at the intersection of Touhy Avenue and Lincoln Avenue and commonly known as the "Purple Hotel Property." The planned unit development contemplates the complete renovation of the historic hotel building that exists on the property and the future construction of approximately 30,000-40,000 square feet of new and additional retail and office uses in a cohesively designed and unified plan of development. The renovated hotel will be a full-service boutique hotel with attached banquet and themed restaurant facilities. Redevelopment of the property will be undertaken in a manner that furthers the goals and objectives of the Village's TIF Redevelopment Plan for the Lincoln-Touhy TIF District, the Lincoln Avenue Corridor Plan, the Lincoln Avenue Streetscape Plan, and the Village's Comprehensive Plan.

For further information, please see attached correspondence from Koo and Associates Ltd.

KOO AND ASSOCIATES LTD
53 W JACKSON BLVD SUITE 235 CHICAGO 60604

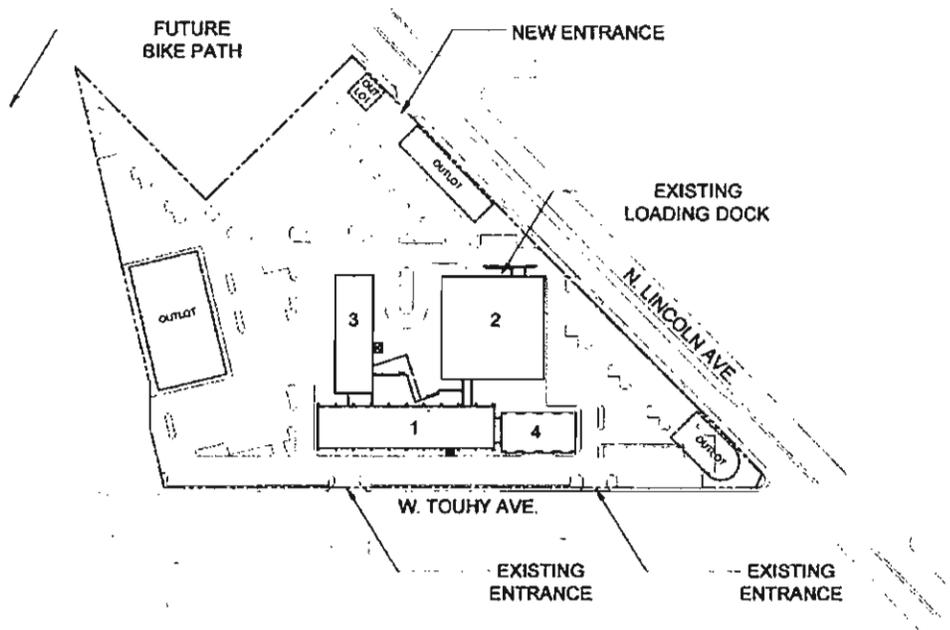
12/13/2012 Revised 12/13/2012

Mr. Jake Weiss
Weiss Properties
8170 McCormick Boulevard, Suite 100
Skokie, Illinois 60076

Re: PUD Application for 4500 West Touhy, Lincolnwood, IL

Dear Mr. Weiss,

The following descriptions are required by the Village of Lincolnwood's Zoning department as part of the PUD application process. The following diagram graphically describes the site.



8.06.3.h Density

Site is 8.5 acres. No residential use is anticipated.

8.06.3.i Non-Residential Uses

Building 1 is an existing 5-story masonry and concrete structure, containing 136 hotel guest rooms. A new, one story addition will be added to the north façade, replacing the existing enclosure for the hotel pool and creating a new guest entry.

Building 2 is an existing 1-story masonry and concrete structure, containing 3 restaurants, with banquet and back-of house and mechanical facilities on the lower level.

Building 3 is an existing 3-story masonry structure, containing the hotel's business center, spa, and back of house offices.

Building 4 is an existing 7-story masonry and concrete structure, containing 72 hotel guest rooms.

Future Development The Site Master Plan shows 3 out-lots, totaling approximately 35,000 SF of additional retail development opportunities.

8.06.3.j Service Facilities

A loading dock, located on the north side of Building 2, will provide for all service needs. The basement connects all buildings.

Surface parking is available for approximately 470 vehicles. This is a preliminary calculation, does not include ADA spaces and is not based on engineered drawings.

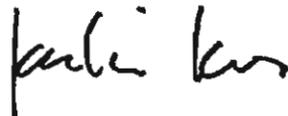
We estimate that approximately 422 spaces are required for the hospitality/restaurant/banquet uses. When the future development is completed, valet parking for the banquet function during high occupant load events may be required. This parking matrix was based on the Lincolnwood Zoning Ordinance requirements except where noted.

"REASONABLE ASSUMPTION" PARKING ANALYSIS			
USE	PARKING RATIO	QUANTITY	SPACES REQUIRED
HOTEL	1 SPACE PER ROOM	208 ROOMS	208
RESTAURANT IN HOTEL	6 SPACES PER 1000 SF ¹	9000 SF	54
BANQUET	1 SPACE PER 8 OCCUPANTS ²	833 OCCUPANTS	105
SPA	2 SPACES PER 1000 SF ³	6800 SF	14
EXECUTIVE CONF.CENTER	3 SPACES PER 1000 SF	6825 SF	21
EMPLOYEES	1 SPACE PER 2 FULL TIME EMPLOYEES	40 FTE	20
EMPLOYEE OFFICES	0 EXTRA SPACES ⁴	0	0
TOTAL SPACES			422

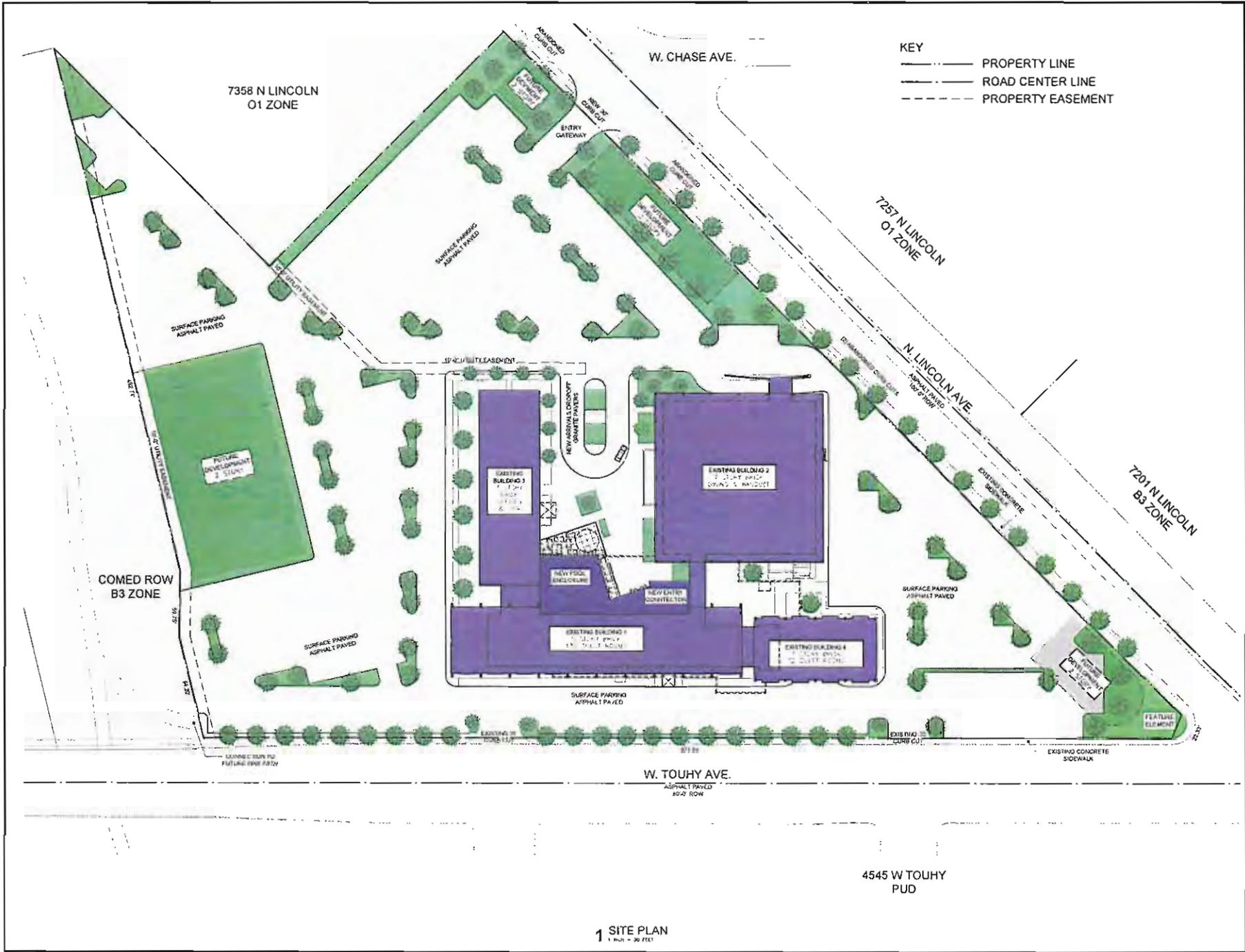
NOTES

1. Many municipalities use 12 spaces per 1,000SF. We assumed 50% of the diners will be hotel guests so we used 6 spaces per 1,000SF
2. We assumed 50% of the banquet occupants will be staying at the hotel and have already been counted in the hotel guestroom use therefore reduced the number of occupants by half
3. We assumed 50% of the spa occupants will be staying at the hotel and have already been counted in the hotel guestroom use therefore reduced the number of occupants by half
4. We assumed that the office space on the 3rd floor of Building 03 will be used by the employees of the hotel, therefore requiring no additional spaces since already accounted for by the anticipated employee parking count

Sincerely,
 Koo and Associates Ltd.



Jackie Koo, AIA
 Leed A.P., IIDA



KEY

- PROPERTY LINE
- ROAD CENTER LINE
- - - PROPERTY EASEMENT

W. EISS
 W. EISS PROPERTIES, INC.
 8170 McCormick Blvd., Suite 100
 Oakbrook, Illinois 60076

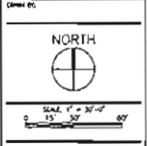
NOV AND ASSOCIATES, P.C.
 38 W. JACKSON BOULEVARD, FLOOR 10
 CHICAGO, ILLINOIS 60604

Engineer 1
 ENGINEER IN CHARGE
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 CIVIL ENGINEER
 Engineer 4
 CIVIL ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
10-10-2012	SCHEMATIC DESIGN



4500 WEST TOUHY
 SITE PLAN

DRWG 10
PUD-01

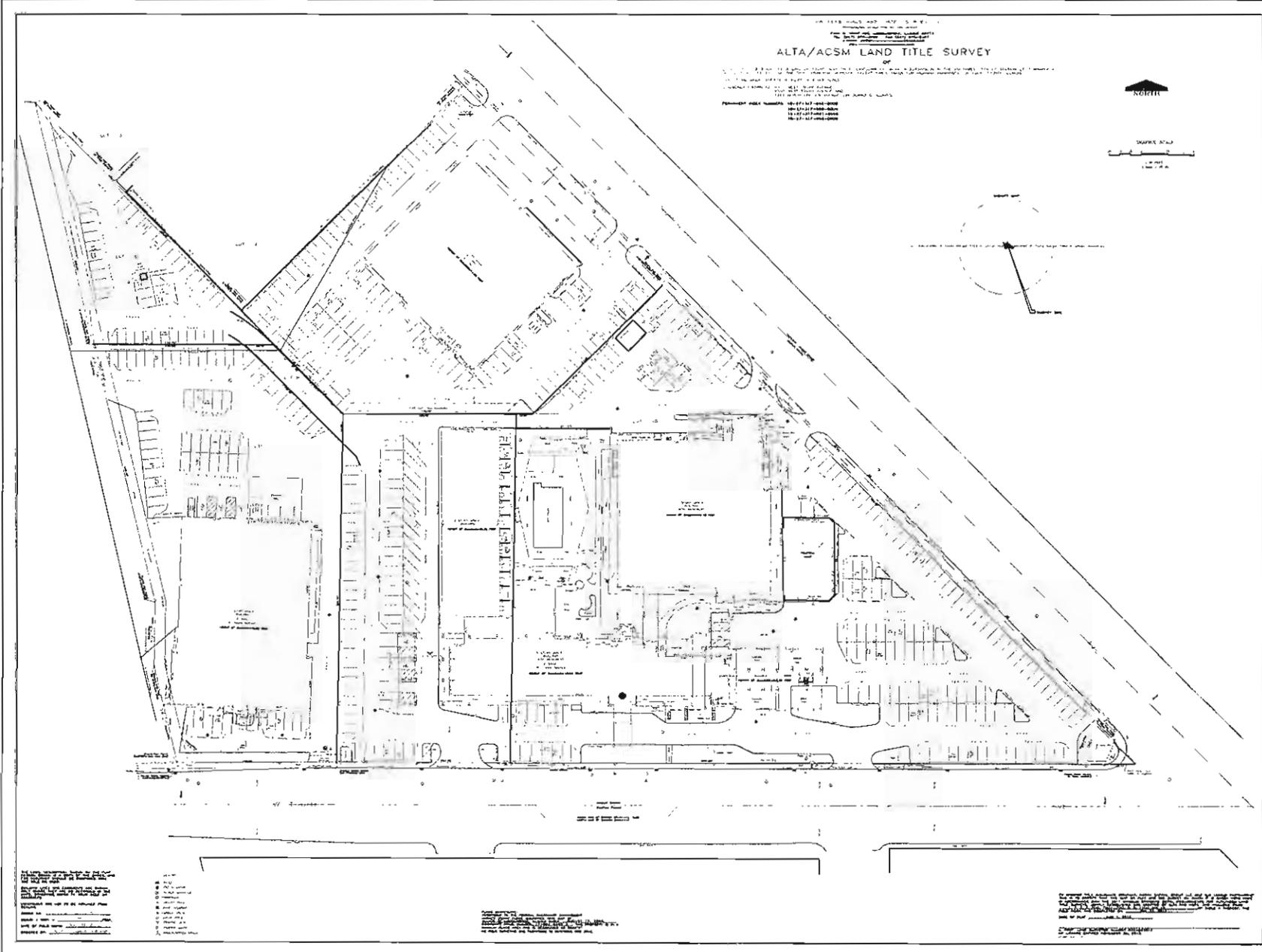
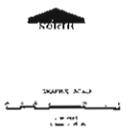
© J. J. NOV AND ASSOCIATES, P.C.

1 SITE PLAN
 1 INCH = 30 FEET

DATE: 10/10/12
 TIME: 10:00 AM
 DRAWN BY: JLN
 CHECKED BY: JLN
 APPROVED BY: JLN

ALTA/ACSM LAND TITLE SURVEY

THIS SURVEY WAS MADE AND CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152, AND THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152.



THIS SURVEY WAS MADE AND CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152, AND THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152.

- 1. Surveyor
- 2. Client
- 3. Date
- 4. Location
- 5. Purpose
- 6. Method
- 7. Accuracy
- 8. Notes

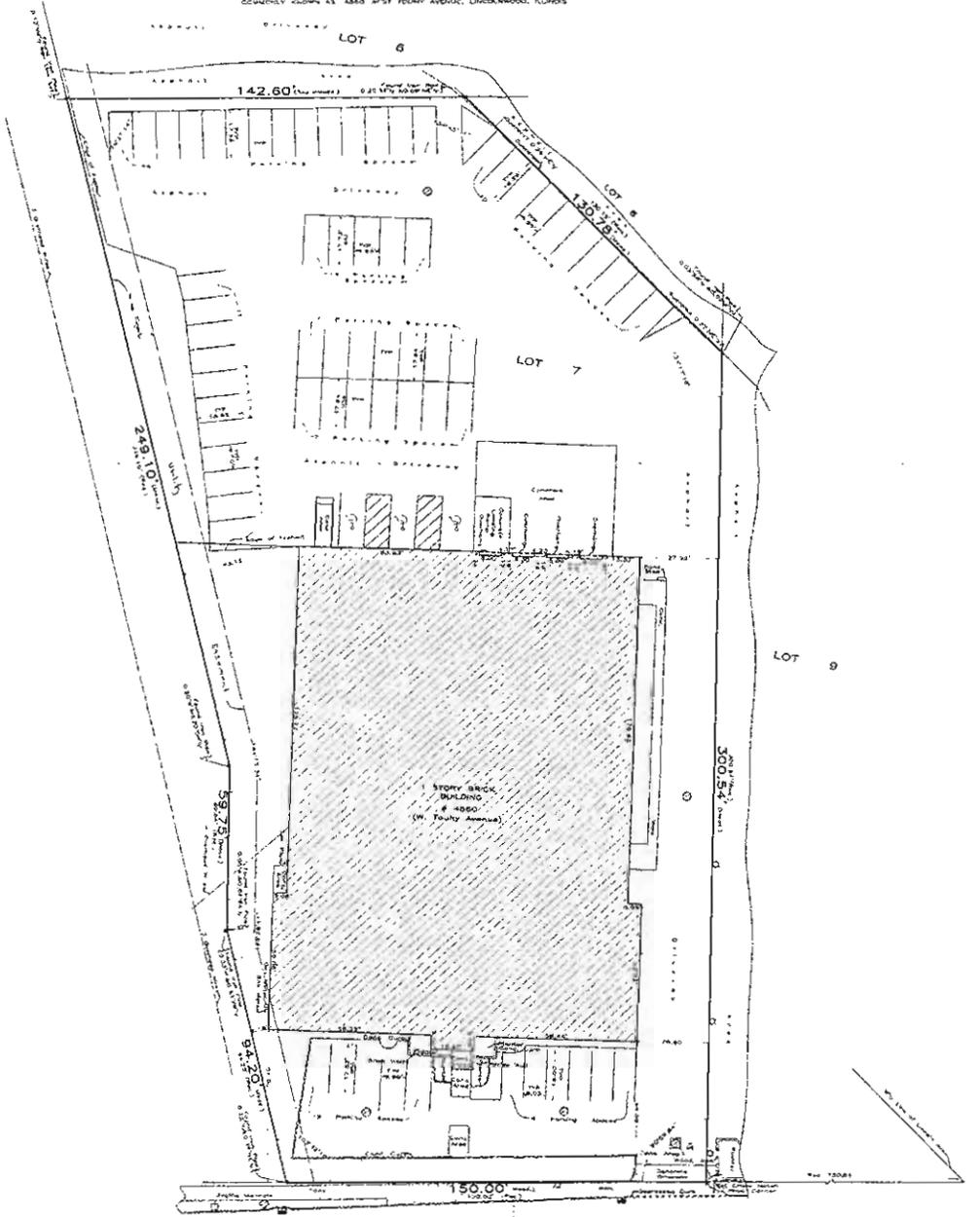
THIS SURVEY WAS MADE AND CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152, AND THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152.

THIS SURVEY WAS MADE AND CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152, AND THE ALTA/ACSM SURVEYING ACT, R.S. 48:151, AND THE ALTA/ACSM SURVEYING REGULATIONS, R.S. 48:152.

PROFESSIONALS ASSOCIATED SURVEY, INC.
 PROPERTY - ALTA - TOPO - CONDO - MORTGAGE SURVEY
 7100 N. TOLSON AVE., LINCOLNWOOD, ILLINOIS 60712
 TEL. (847) 675-3000 FAX (847) 675-2167
ALTA/ACSM LAND TITLE SURVEY



OF
 LOT 7 IN LINCOLNWOOD ADJACENT TO LINCOLNWOOD BEING A SUBDIVISION IN THE THIRTIETH 1/4 OF SECTION 27 TOWNSHIP
 21 NORTH RANGE 13 EAST OF THE FOURTH PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS
 TOTAL LOT AREA 79,444.75 SQ. FT. ± 67% ACRES
 CONVEYED BY DEED AS 6888 WEST TOLSON AVENUE, LINCOLNWOOD, ILLINOIS



- LEGEND
- ⊙ WELT
 - SAFETY MARK
 - ⊙ VENDOR MARK/OLE
 - MARK/OLE
 - ⊙ UTILITY POLE
 - ⊙ FIRE HYDRANT
 - ⊙ WATER TOWER
 - ⊙ LIGHT POLE
 - ⊙ TRAFFIC SIGN
 - ⊙ TRAFFIC LIGHT
 - ⊙ LANDSHAPING DEVICE

W. TOLSON AVENUE

DIMENSIONS ARE NOT TO BE ASSUMED FROM SPACING
 ORDER NO. 141-13322
 SCALE: 1" = 40'
 DATE: 11/15/00
 DRAWN BY: FORTUNE GROUP

PROFESSIONALS ASSOCIATED SURVEY, INC.
 7100 N. TOLSON AVE., LINCOLNWOOD, ILLINOIS 60712
 TEL. (847) 675-3000 FAX (847) 675-2167



THIS IS TO CERTIFY THAT THE LAND SHOWN AND THE SURVEY ON
 WHICH IT IS BASED HAVE BEEN EXAMINED AND FOUND TO BE
 ACCURATE AND CORRECT AND THAT THE SURVEY IS IN ACCORDANCE
 WITH THE ACTS OF CONGRESS AND THE STATUTES OF THE STATE OF
 ILLINOIS AND THE RULES AND REGULATIONS OF THE BOARD OF
 LAND TITLE SURVEYORS.
 DATED: November 5, 2000
 (SIGNED): *Paul D. Fort*
 P. PAUL D. FORT, SURVEYOR LICENSE EXPIRES NOV. 20, 2001
 CHICAGO, ILL.

**8.06(2)(b) CONCEPTUAL
PLAN STAGE
Submission
for
4500 West Touhy
“Purple Hotel”**

8.06(2)(b) Any materials required
pursuant to Section 8.06(3)

8.06(2)(a) All materials required
pursuant to Section 8.06(1)

- A Detailed Plan
- B Site Data
- C Subdivision Plat
- D Statement of Purpose
- E Ownership
- F Schedule
- G Covenants
- H Density
- I Nonresidential Use
- J Service Facilities
- K Architectural Plans
- L Environmental
- M Utilities
- N Landscape Plans
- O Facilities Plans
- P School Impact Study
- Q Tax Impact Study
- R Traffic Analysis
- S Market Study

**NORTH CAPITAL GROUP, LLC
PURPLE HOTEL PROPERTY**

Application for Planned Unit Development Approval

GENERAL SITE INFORMATION SHEET

Location: Northwest corner of Touhy Avenue and Lincoln Avenue.
Common addresses: 4500 West Touhy Avenue, 4560 Touhy Avenue and 7350 Lincoln Avenue.

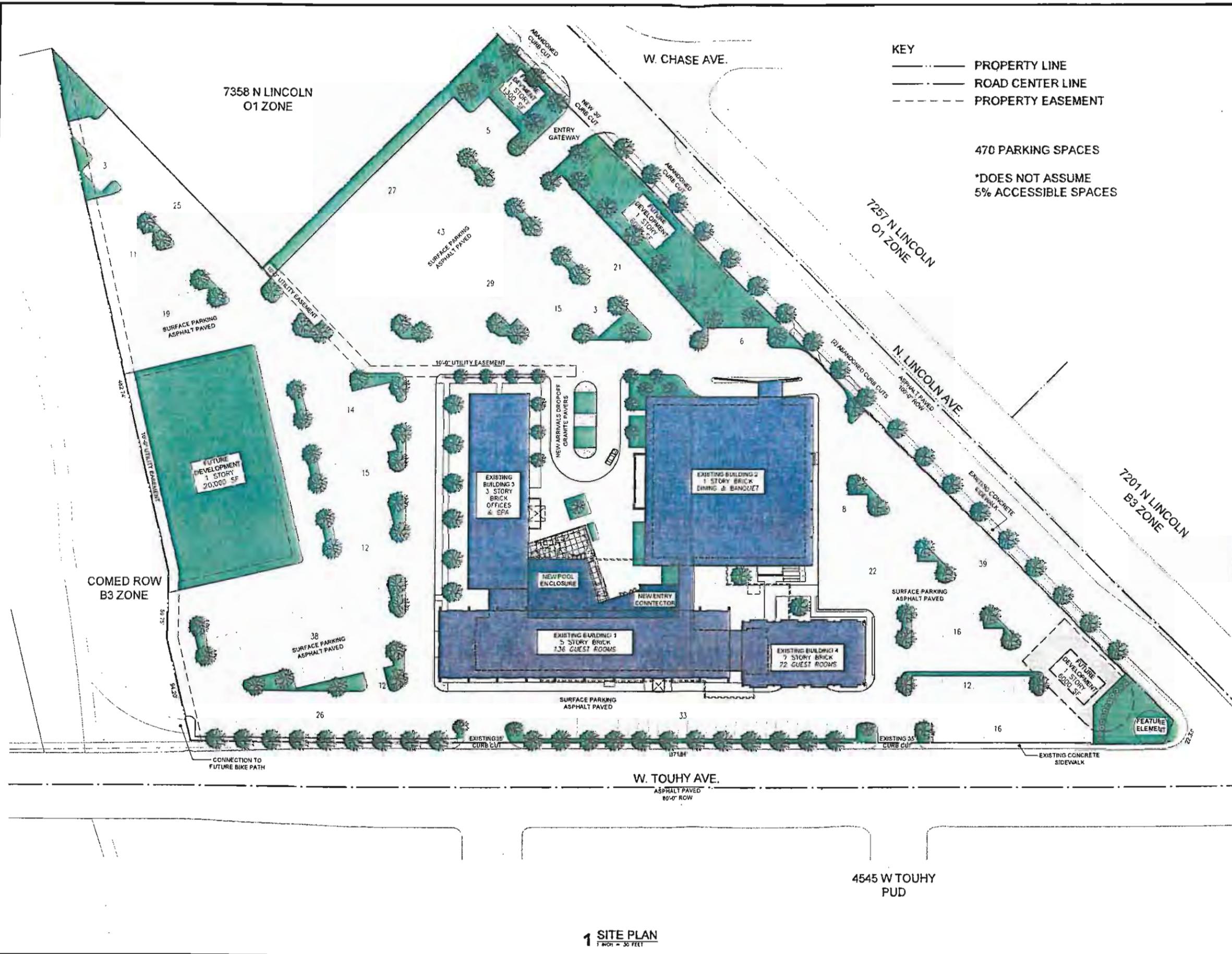
Physical Characteristics: The site consists of an irregular shaped parcel with 900.84 feet of frontage along the north side of Touhy Avenue and 894 feet of frontage on the west side of Lincoln Avenue. The site contains a total area of 373,846 square feet or 8.5823 acres.

Property Tax Index Nos.: 10-27-317-050, 052 & 055 (Purple Hotel Property)
10-27-317-049 & 051 (former Foster Bank property).

Access: There are presently three curb cuts with traffic light access along the north side of Touhy Avenue, which is a four-lane thoroughfare, and three curb cuts along the west side of Lincoln Avenue, which is a two-lane thoroughfare.

Topography & Drainage: The site is relatively level with street grade. According to Flood Insurance Rate Map Community-Panel Number 1703290001C, dated March 16, 1981, the subject property lies in Flood Zone C, an area of minimal flooding.

Current Zoning: B-3, Village Center Planned Development District.



KEY
 ———— PROPERTY LINE
 - - - - ROAD CENTER LINE
 - - - - PROPERTY EASEMENT

470 PARKING SPACES
 *DOES NOT ASSUME
 5% ACCESSIBLE SPACES

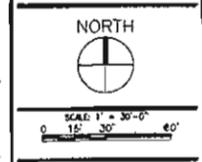
KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076
 HOOD AND ASSOCIATES LTD.
 35 W. JACKSON BLVD #7E 215
 CHICAGO, IL 60604
 312-333-0200 FAX
 Engineer 1 STRUCTURAL ENGINEER
 Engineer 2 CIVIL ENGINEER
 Engineer 3 MEP ENGINEER
 Engineer 4 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY:

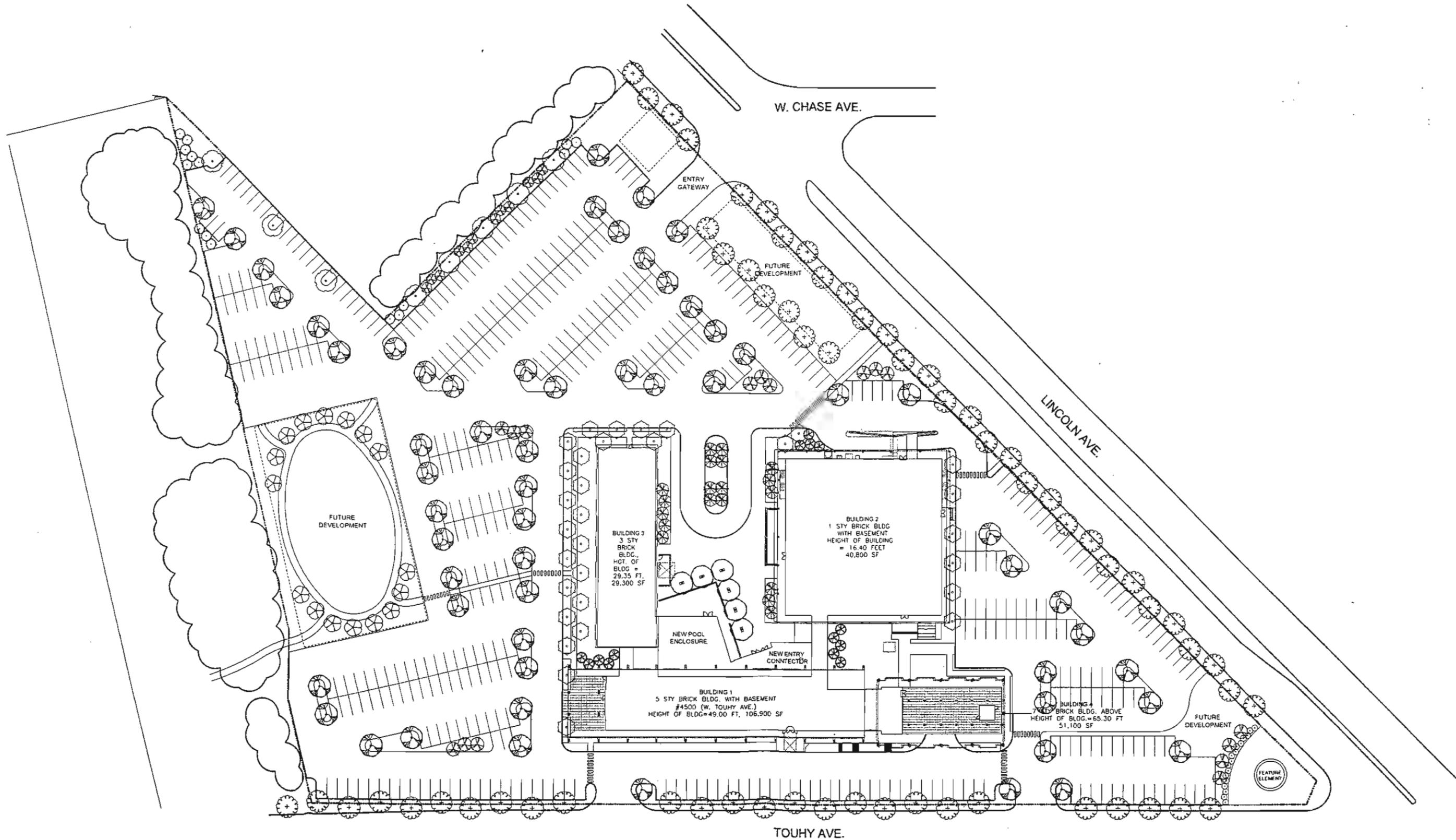


4500 WEST TOUHY
 SITE PLAN
 DRAWING NO.
PUD-01
 © 2012 HOOD AND ASSOCIATES LTD

1 SITE PLAN
 1" = 30' FEET

4545 W TOUHY
 PUD

USDR
 PLOT SCALE
 PLOT DATE

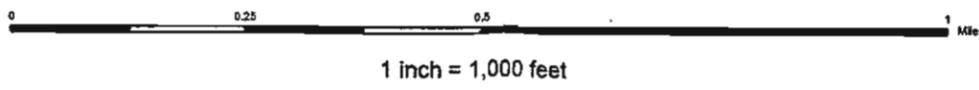




Village of Lincolnwood Zoning Map November 6, 2008



	R1 Residential
	R2 Residential
	R3 Residential
	R4 Residential
	B1 Traditional Business
	Mixed Use Hub
	Business Transition Area
	Business / Residential Transition Area
	B2 General Business
	B3 Village Center PD
	O Office
	MB Light Manufacturing / Business
	PUD Planned Unit Development
	P Public Open Space



LEGAL DESCRIPTION OF REAL ESTATE

STREET ADDRESS: 4500 W TOUHY AVENUE

CITY: LINCOLNWOOD

COUNTY: COOK

TAX NUMBER: 10-27-317-050-0000 0 - 052 0 - 055

LEGAL DESCRIPTION:

PARCEL 1: LOTS 6, 8, 9 AND 10 IN LINCOLN-TOUHY ADDITION TO LINCOLNWOOD, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT PARTS TAKEN FOR HIGHWAY PURPOSES) IN COOK COUNTY, ILLINOIS.

PARCEL 2: LOT 7 IN LINCOLN-TOUHY ADDITION TO LINCOLNWOOD, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT PARTS TAKEN FOR HIGHWAY PURPOSES) IN COOK COUNTY, ILLINOIS.

PARCEL 3: LOT 5 IN LINCOLN-TOUHY ADDITION TO LINCOLNWOOD, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 27, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT PARTS TAKEN FOR HIGHWAY PURPOSES) IN COOK COUNTY, ILLINOIS.

LEGAL DESCRIPTION

Lot 7 in Lincoln-Touhy Addition to Lincolnwood, being a subdivision in the southwest 1/4 of Section 27, Township 41 North, Range 13, east of the Third Principal Meridian, (except that part taken for highway purposes) in Cook County, Illinois.

Permanent Index Number: 10-27-317-051-0000.

Common address: 4560 West Touhy Avenue, Lincolnwood, Illinois 60712.

LEGAL DESCRIPTION

Lot 5 in Lincoln-Touhy Addition to Lincolnwood, being a subdivision in the southwest 1/4 of Section 27, Township 41 North, Range 13, east of the Third Principal Meridian, (except that part taken for highway purposes) in Cook County, Illinois.

Permanent Index Number: 10-27-317-049-0000.

Common address: 7350 North Lincoln Avenue, Lincolnwood, Illinois 60712.

KOO AND ASSOCIATES LTD
53 W JACKSON BLVD SUITE 235 CHICAGO 60604

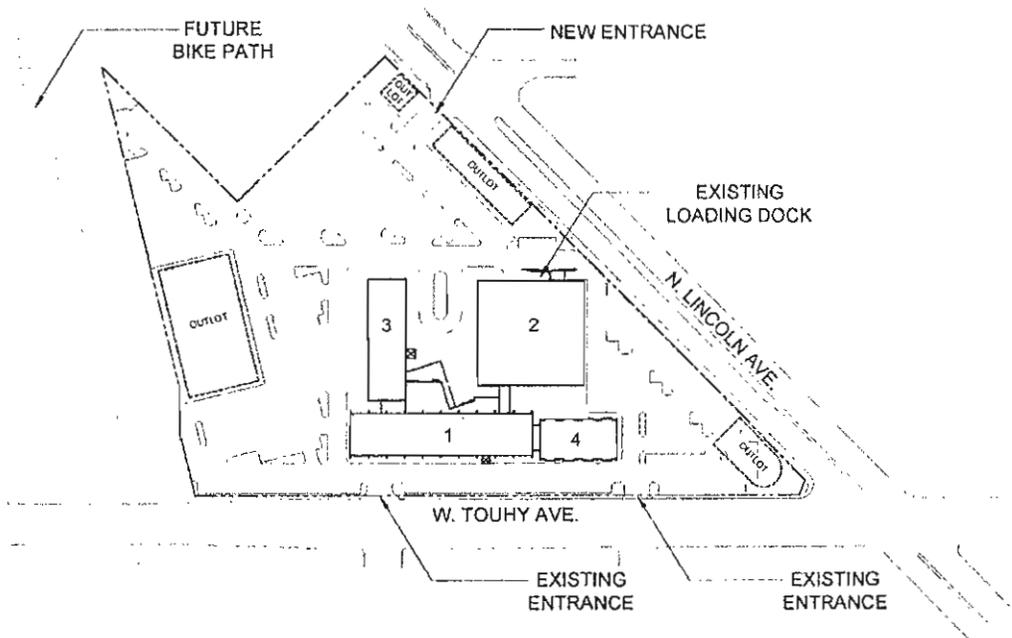
12/13/2012 Revised 12/13/2012

Mr. Jake Weiss
Weiss Properties
8170 McCormick Boulevard, Suite 100
Skokie, Illinois 60076

Re: PUD Application for 4500 West Touhy, Lincolnwood, IL

Dear Mr. Weiss,

The following descriptions are required by the Village of Lincolnwood's Zoning department as part of the PUD application process. The following diagram graphically describes the site.



8.06.3.h Density

Site is 8.5 acres. No residential use is anticipated.

8.06.3.i Non-Residential Uses

Building 1 is an existing 5-story masonry and concrete structure, containing 136 hotel guest rooms. A new, one story addition will be added to the north façade, replacing the existing enclosure for the hotel pool and creating a new guest entry.

Building 2 is an existing 1-story masonry and concrete structure, containing 3 restaurants, with banquet and back-of house and mechanical facilities on the lower level.

Building 3 is an existing 3-story masonry structure, containing the hotel's business center, spa, and back of house offices.

Building 4 is an existing 7-story masonry and concrete structure, containing 72 hotel guest rooms.

Future Development The Site Master Plan shows 3 out-lots, totaling approximately 35,000 SF of additional retail development opportunities.

8.06.3.j Service Facilities

A loading dock, located on the north side of Building 2, will provide for all service needs. The basement connects all buildings.

Surface parking is available for approximately 470 vehicles. This is a preliminary calculation, does not include ADA spaces and is not based on engineered drawings.

We estimate that approximately 422 spaces are required for the hospitality/restaurant/banquet uses. When the future development is completed, valet parking for the banquet function during high occupant load events may be required. This parking matrix was based on the Lincolnwood Zoning Ordinance requirements except where noted.

"REASONABLE ASSUMPTION" PARKING ANALYSIS			
USE	PARKING RATIO	QUANTITY	SPACES REQUIRED
HOTEL	1 SPACE PER ROOM	208 ROOMS	208
RESTAURANT IN HOTEL	6 SPACES PER 1000 SF ¹	9000 SF	54
BANQUET	1 SPACE PER 8 OCCUPANTS ²	833 OCCUPANTS	105
SPA	2 SPACES PER 1000 SF ³	6800 SF	14
EXECUTIVE CONF.CENTER	3 SPACES PER 1000 SF	6825 SF	21
EMPLOYEES	1 SPACE PER 2 FULL TIME EMPLOYEES	40 FTE	20
EMPLOYEE OFFICES	0 EXTRA SPACES ⁴	0	0
TOTAL SPACES			422

NOTES

1. Many municipalities use 12 spaces per 1,000SF. We assumed 50% of the diners will be hotel guests so we used 6 spaces per 1,000SF
2. We assumed 50% of the banquet occupants will be staying at the hotel and have already been counted in the hotel guestroom use therefore reduced the number of occupants by half
3. We assumed 50% of the spa occupants will be staying at the hotel and have already been counted in the hotel guestroom use therefore reduced the number of occupants by half
4. We assumed that the office space on the 3rd floor of Building 03 will be used by the employees of the hotel, therefore requiring no additional spaces since already accounted for by the anticipated employee parking count

Sincerely,
Koo and Associates Ltd.



Jackie Koo, AIA
Leed A.P., IIDA

8.06(3)(c) Subdivision Plat:

At this time there are no specific plans to subdivide the existing site and no subdivision plat has been produced.

**NORTH CAPITAL GROUP, LLC
PURPLE HOTEL PROPERTY**

Application for Planned Unit Development Approval

DESCRIPTION OF THE PLANNED UNIT DEVELOPMENT

North Capital Group is requesting preliminary planned unit development approval for the 8.5 acre parcel of property situated at the intersection of Touhy Avenue and Lincoln Avenue and commonly known as the "Purple Hotel Property." The planned unit development contemplates the complete renovation of the historic hotel building that exists on the property and the future construction of approximately 30,000-40,000 square feet of new and additional retail and office uses in a cohesively designed and unified plan of development. The renovated hotel will be a full-service boutique hotel with attached banquet and themed restaurant facilities. Redevelopment of the property will be undertaken in a manner that furthers the goals and objectives of the Village's TIF Redevelopment Plan for the Lincoln-Touhy TIF District, the Lincoln Avenue Corridor Plan, the Lincoln Avenue Streetscape Plan, and the Village's Comprehensive Plan.

For further information, please see attached correspondence from Koo and Associates Ltd.

KOO AND ASSOCIATES LTD
53 W JACKSON BLVD SUITE 235 CHICAGO 60604

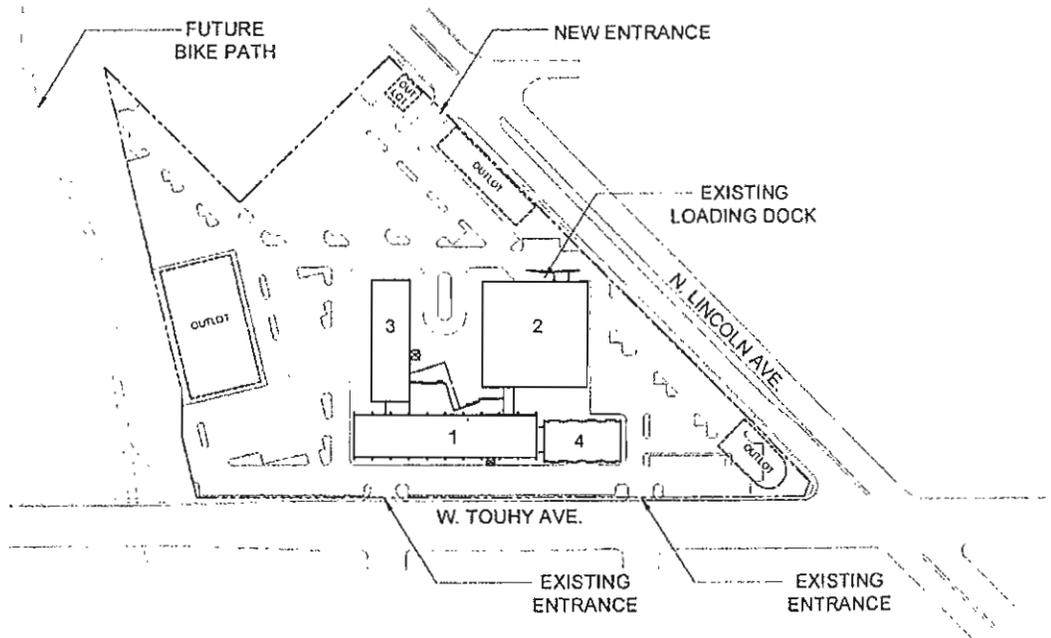
12/13/2012 Revised 12/13/2012

Mr. Jake Weiss
Weiss Properties
8170 McCormick Boulevard, Suite 100
Skokie, Illinois 60076

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4. We assumed that the office space on the 3rd floor of Building 03 will be used by the employees of the hotel, therefore requiring no additional spaces since already accounted for by the anticipated employee parking count

Sincerely,
 Koo and Associates Ltd.



Jackie Koo, AIA
 Leed A.P., IIDA

Form **LLC-5.5**

Illinois
Limited Liability Company Act
Articles of Organization

FILE # 03402223

Secretary of State Jesse White
Department of Business Services
Limited Liability Division
www.cyberdriveillinois.com

Filing Fee: \$500
Expedited Fee: \$100
Approved By: JMD1

FILED
NOV 04 2010
Jesse White
Secretary of State

1. Limited Liability Company Name: NORTH CAPITAL GROUP, LLC

2. Address of Principal Place of Business where records of the company will be kept:
8170 MCCORMICK BLVD., STE. 100
SKOKIE, IL 60076-2914

3. Articles of Organization effective on the filing date.

4. Registered Agent's Name and Registered Office Address:

ZVI FEINER
8170 MCCORMICK BLVD STE 100
SKOKIE, IL 60076-2914

COOK

5. Purpose for which the Limited Liability Company is organized:

"The transaction of any or all lawful business for which Limited Liability Companies may be organized under this Act."

6. The LLC is to have perpetual existence.

7. The Limited Liability Company is managed by the manager(s).

WEISS, ISSAC J
8170 MCCORMICK BLVD STE 100, SKOKIE, IL 60076

FEINER, ZVI
8170 MCCORMICK BLVD STE 100, SKOKIE, IL 60076

8. **Name and Address of Organizer**

I affirm, under penalties of perjury, having authority to sign hereto, that these Articles of Organization are to the best of my knowledge and belief, true, correct and complete.

Dated: NOVEMBER 04, 2010

MAUREEN A. DREWS
131 S. DEARBORN ST., 30TH FLR.
CHICAGO, IL 60603

**OPERATING AGREEMENT
OF
NORTH CAPITAL GROUP, LLC**

EXHIBIT A

<u>Initial Members and Managers</u>	<u>Initial Capital Contribution</u>	<u>Percentage Interest</u>
Zvi Feiner	\$ 500.00	50%
Isaac J. Weiss	<u>\$ 500.00</u>	<u>50%</u>
Totals:	\$1,000.00	100%

125
APR 26 2012
CP

WARRANTY DEED

THIS AGREEMENT, made this June 1, 2012, by and between **KM Lincoln, LLC**, an Illinois limited liability company, "GRANTOR," and **North Capital Group, LLC**, an Illinois limited liability company, "GRANTEE," *WITNESSETH*, that the Grantor, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid by the Grantee, the receipt whereof is hereby acknowledged, and by these presents CONVEYS and WARRANTS unto the Grantee, and to the Grantee's heirs, successors, and assigns, FOREVER, *in fee simple* all the following described real estate, situated in the County of Cook and State of Illinois known and described as follows, to wit:

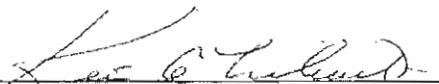
**SEE EXHIBIT "A" LEGAL DESCRIPTION ATTACHED
HERETO AND MADE A PART HEREOF**

Together with all and singular the hereditaments and appurtenances thereunto belonging, or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim or demand whatsoever, of the Grantor, either in law or equity, of, in and to the above described premises, HEREBY RELEASING ALL RIGHTS OF HOMESTEAD with the hereditaments and appurtenances: TO HAVE AND TO HOLD the said premises as above described, with the appurtenances, unto the Grantee, the Grantee's heirs and assigns forever.

And the Grantor, for itself, and its successors, does covenant, promise and agree, to and with the Grantee, and the Grantee's heirs and assigns, that it has not done or suffered to be done, anything whereby the said premises hereby granted are, or may be, in any manner encumbered or charged, except as herein recited: and that the said premises, against all persons lawfully claiming, or to claim the same, by, through or under it, it WILL WARRANT AND DEFEND, subject to those matters stated on Exhibit "A" attached hereto and made a part hereof.

IN WITNESS WHEREOF, said Grantor has caused his/her name(s) to be signed to these presents on the day and year first above written.

KM LINCOLN, LLC

By: 
Kenneth A. Michaels Jr., attorney for Grantor, pursuant to
Authority granted under *Order Approving Debtor's Sale of Property to
North Capital Group, LLC*, entered May 31, 2012, In re
Village Resorts, Inc., *et al.*, case number 11-50965
(Bankruptcy Court in Northern District of Illinois, Eastern Division)

STATE OF ILLINOIS)
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the said County, in the State, aforesaid, DO HEREBY CERTIFY that Kenneth A. Michaels Jr. is personally known to me, and whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his/her free and voluntary act, for the uses and purposes set forth.

Given under my hand and notarial seal this 1 day of June 2012.


Notary Public

"OFFICIAL SEAL"
Patrick Kennedy
Notary Public, State of Illinois
My Commission Expires 1/3/2015

This instrument prepared by:
Kenneth A. Michaels Jr., Esq.
Bauch & Michaels, LLC
53 W. Jackson Blvd., Suite 1115
Chicago, IL 60604

Send subsequent tax bills to:
North Capital Group, LLC
8170 McCormick Blvd., Suite 100
Skokie, IL 60076

After recording, return to:
Mitchell Lieberman, Esq.
Noonan and Lieberman Ltd.
105 W Adams #1100
Chicago Illinois 60603

EXHIBIT "A"
LEGAL DESCRIPTION

Lot 5 in Lincoln-Touhy Addition to Lincolnwood, being a subdivision in the southwest 1/4 of Section 27, Township 41 North, Range 13, east of the Third Principal Meridian, (except that part taken for highway purposes) in Cook County, Illinois.

Permanent Index Number: 10-27-317-049-0000.

Common address: 7350 North Lincoln Avenue, Lincolnwood, Illinois 60712.

THIS DEED IS SUBJECT TO: (1) property taxes not yet due and payable and property taxes for all years thereafter; (2) covenants, conditions, restrictions and building lines then of record; (3) easements or encroachments existing or of record; (4) acts done or suffered by Buyer; (5) any special service area, village comprehensive plans or TIF ordinances of record; (6) any recorded planned unit development agreements or property management agreements or declarations of record; (7) any and all Village of Lincolnwood demolition or other liens and notices of violation; (8) any –and all orders, consent decrees, or judgments entered by the Circuit Court of Cook County, Illinois, in the actions known as *The Village of Lincolnwood v. Chicago Title Land Trust Company w/t/a No. 1095403*, case number 2010 CH 09738 and *The Village of Lincolnwood v. Chicago Title Land Trust Company w/t/a No. 1095403*, case number 2006 CH 20650; and (9) any encroachments, encumbrances, violations, variations, or adverse circumstances affecting title that may be disclosed on the ALTA surveys described in paragraph 4(g) above.

2-15
As
LP
PKY
SAY 17 2026
CN

WARRANTY DEED

THIS AGREEMENT, made this June 1, 2012, by and between **KM Touhy, LLC**, an Illinois limited liability company, "GRANTOR," and **North Capital Group, LLC**, an Illinois limited liability company, "GRANTEE," *WITNESSETH*, that the Grantor, for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid by the Grantee, the receipt whereof is hereby acknowledged, and by these presents **CONVEYS** and **WARRANTS** unto the Grantee, and to the Grantee's heirs, successors, and assigns, **FOREVER**, *in fee simple* all the following described real estate, situated in the County of Cook and State of Illinois known and described as follows, to wit:

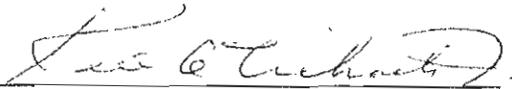
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IN WITNESS WHEREOF, said Grantor has caused his/her name(s) to be signed to these presents on the day and year first above written.

KM TOUHY, LLC

By: 

Kenneth A. Michaels Jr., attorney for Grantor, pursuant to Authority granted under *Order Approving Debtor's Sale of Property to North Capital Group, LLC*, entered May 31, 2012, in re *Village Resorts, Inc., et al.*, case number 11-50965 (Bankruptcy Court in Northern District of Illinois, Eastern Division)

STATE OF ILLINOIS)
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the said County, in the State, aforesaid, DO HEREBY CERTIFY that Kenneth A. Michaels Jr. is personally known to me, and whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his/her free and voluntary act, for the uses and purposes set forth.

Given under my hand and notarial seal this 1 day of June 2012.


Notary Public



This instrument prepared by: Kenneth A. Michaels Jr., Esq. Bauch & Michaels, LLC 53 W. Jackson Blvd., Suite 1115 Chicago, IL 60604
Send subsequent tax bills to: North Capital Group, LLC 8170 McCormick Blvd., Suite 100 Skokie, IL 60076
After recording, return to: Mitchell Lieberman, Esq. Noonan and Lieberman Ltd. 105 W Adams #1100 Chicago Illinois 60603

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Permanent Index Number: 10-27-317-051-0000.

Common address: 4560 West Touhy Avenue, Lincolnwood, Illinois 60712.

THIS DEED IS SUBJECT TO: (1) property taxes not yet due and payable and property taxes for all years thereafter; (2) covenants, conditions, restrictions and building lines then of record; (3) easements or encroachments existing or of record; (4) acts done or suffered by Buyer; (5) any special service area, village comprehensive plans or TIFF ordinances of record; (6) any recorded planned unit development agreements or property management agreements or declarations of record; (7) any and all Village of Lincolnwood demolition or other liens and notices of violation; (8) any –and all orders, consent decrees, or judgments entered by the Circuit Court of Cook County, Illinois, in the actions known as *The Village of Lincolnwood v. Chicago Title Land Trust Company u/t/a No. 1095403*, case number 2010 CH 09738 and *The Village of Lincolnwood v. Chicago Title Land Trust Company u/t/a No. 1095403*, case number 2006 CH 20650; and (9) any encroachments, encumbrances, violations, variations, or adverse circumstances affecting title that may be disclosed on the ALTA surveys described in paragraph 4(g) above.

TRUSTEE'S DEED

Reserved for Recorder's Office

345
N.A.S.
LP
PKY

This indenture made this 1st day of June, 2012, between CHICAGO TITLE LAND TRUST COMPANY, a corporation of Illinois, under the provisions of a deed or deeds in trust, duly recorded and delivered to said company in pursuance of a trust agreement dated the 23rd day of September, 1991, and known as Trust Number 1095403, party of the first part, and North Capital Group, LLC

WHOSE ADDRESS IS:
8170 McCormick Blvd., Suite 100
Skokie, IL 60076

party of the second part.

SMY 7 2012
CN

WITNESSETH, That said party of the first part, in consideration of the sum of TEN and no/100 DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE considerations in hand paid, does hereby CONVEY AND QUITCLAIM unto said party of the second part, the following described real estate, situated in Cook County, Illinois, to wit:

LOT 6, 8, 9 and 10 in Lincoln-Touhy Addition to Lincolnwood, being a subdivision in the Southwest ¼ of Section 27, Township 41 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois, (Except parts taken for highway).

Property Address: 4500 West Touhy Avenue, Lincolnwood, Illinois 60712

Permanent Tax Number: 10-27-317-050-0000; 10-27-317-052-0000; 10-27-317-055-0000

together with the tenements and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto said party of the second part, and to the proper use, benefit and behoof forever of said party of the second part.

This deed is executed pursuant to and in the exercise of the power and authority granted to and vested in said trustee by the terms of said deed or deeds in trust delivered to said trustee in pursuance of the trust agreement above mentioned. This deed is made subject to the lien of every trust deed or mortgage (if any there be) of record in said county given to secure the payment of money, and remaining unreleased at the date of the delivery hereof.

IN WITNESS WHEREOF, said party of the first part has caused its corporate seal to be hereto affixed, and has caused its name to be signed to these presents by its Assistant Vice President, the day and year first above written.

CHICAGO TITLE LAND TRUST COMPANY,
as Trustee as Aforesaid



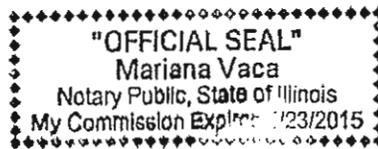
By: Carolyn Pamphenella
Carolyn Pamphenella, Assistant Vice President

State of Illinois
County of Cook

SS.

I, the undersigned, a Notary Public in and for the County and State aforesaid, do hereby certify that the above named **Assistant Vice President** of **CHICAGO TITLE LAND TRUST COMPANY**, personally known to me to be the same person whose name is subscribed to the foregoing instrument as such **Assistant Vice President** appeared before me this day in person and acknowledged that **she** signed and delivered the said instrument as **her** own free and voluntary act and as the free and voluntary act of the Company; and the said **Assistant Vice President** then and there caused the corporate seal of said Company to be affixed to said instrument as **her** own free and voluntary act and as the free and voluntary act of the Company.

Given under my hand and Notarial Seal this 1st day of June, 2012.




NOTARY PUBLIC

This instrument was prepared by:
CHICAGO TITLE LAND TRUST COMPANY
171 N. Clark Street, Ste. 575
Chicago, IL 60601

AFTER RECORDING, PLEASE MAIL TO:

NAME: *MICHAEL LIBERMAN*
ADDRESS: *105 W Adams # 1100*
CITY, STATE, ZIP: *CHICAGO IL 60603*
OR BOX NO.

SEND TAX BILLS TO:

NAME: *NORTH CAPITAL GROUP LLC*
ADDRESS: *8170 Mc COMBICK BLVD #100*
CITY, STATE, ZIP: *SKOKIE IL 60076*

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No Ass
UP
RCI
SA 4/17/2012
CN

Illinois Anti-Predatory
Lending Database
Program

Certificate of Exemption

Report Mortgage Fraud
800-532-8785

The property identified as: **PIN:** 10-27-317-050-0000

Address:

Street: 7360 NORTH LINCOLN AVENUE

Street line 2:

City: LINCOLNWOOD

State: IL

ZIP Code: 60712

Lender: SLG LIMITED PARTNERSHIP

Borrower: NORTH CAPITAL GROUP, LLC

Loan / Mortgage Amount: \$7,800,000.00

This property is located within the program area and the transaction is exempt from the requirements of 765 ILCS 77/70 et seq. because the application was taken by an exempt entity.

Certificate number: B49484BA-D797-4CF0-A2B2-BF75CBBD4218

Execution date: 06/01/2012

Purple Hotel Preliminary Design Schedule

ID	Task Name	Duration	Start	Finish	Predecessor	2013												2014												2015											
						May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb		
1	Entitlements	103 days	Wed 12/12/12	Sun 5/5/13																																					
2	PUD Pre-Application Submittal	8 days	Wed 12/12/12	Fri 12/21/12																																					
3	Village Board Meeting - Submittal Extension	0 wks	Tue 12/18/12	Tue 12/18/12																																					
4	Plan Submittal for Staff Review	6 days	Mon 12/24/12	Mon 12/31/12																																					
5	Plan Submittal Staff Review	3 wks	Tue 1/1/13	Mon 1/21/13																																					
6	Plan Commission Workshop	0 wks	Wed 1/23/13	Wed 1/23/13																																					
7	Plan Submittal Revision	2 wks	Wed 1/23/13	Tue 2/5/13																																					
8	Plan Commission Public Hearing	0 wks	Wed 3/6/13	Wed 3/6/13																																					
9	Village Board Preliminary Approval	1 emon	Wed 3/6/13	Fri 4/5/13																																					
10	Village Board Formal Approval	1 emon	Fri 4/5/13	Sun 5/5/13																																					
11	Historic Designation	594 days	Sun 7/1/12	Thu 10/9/14																																					
12	Part 1 Historic Certification Application	1 emon	Sun 7/1/12	Tue 7/31/12																																					
13	IHPA Part 1 Review	1 emon	Tue 7/31/12	Thu 8/30/12																																					
14	NPS Part 1 Review	1 emon	Thu 8/30/12	Sat 9/29/12																																					
15	Part 2 Historic Certification Application	1 emon	Tue 3/26/13	Thu 4/25/13																																					
16	IHPA Part 2 Review	1 emon	Thu 4/25/13	Sat 5/25/13																																					
17	NPS Part 2 Review	1 emon	Sat 5/25/13	Mon 6/24/13																																					
18	Part 3 Historic Certification Application	1 emon	Fri 7/11/14	Sun 8/10/14																																					
19	IHPA Part 3 Review	1 emon	Sun 8/10/14	Tue 9/9/14																																					
20	NPS Part 3 Review	1 emon	Tue 9/9/14	Thu 10/9/14																																					
21	Hotel	551 days	Fri 6/1/12	Fri 7/11/14																																					
22	Pre-Design	192 days	Fri 6/1/12	Tue 2/26/13																																					
23	Digitization of Plans and Elevations	3 wks	Fri 6/15/12	Thu 7/5/12																																					
24	Zoning Analysis	1 wk	Wed 6/27/12	Tue 7/3/12																																					
25	Code Analysis	2 wks	Wed 7/4/12	Tue 7/17/12																																					
26	Survey of Existing Conditions	2 wks	Wed 7/18/12	Tue 7/31/12																																					
27	Programming of Public Areas	3 wks	Wed 8/1/12	Tue 8/21/12																																					
28	Franchise Determination	9 emons	Fri 6/1/12	Tue 2/26/13																																					
29	Schematic Design	55 days	Wed 8/22/12	Tue 11/6/12																																					
30	50% Schematic Design	4 wks	Wed 8/22/12	Tue 9/18/12																																					
31	50% Schematic Design Pricing	2 wks	Wed 9/19/12	Tue 10/2/12																																					
32	50% Schematic Design Review	1 wk	Wed 10/3/12	Tue 10/9/12																																					
33	100% Schematic Design	4 wks	Wed 9/19/12	Tue 10/16/12																																					
34	100% Schematic Design Pricing	2 wks	Wed 10/17/12	Tue 10/30/12																																					
35	100% Schematic Design Review	1 wk	Wed 10/31/12	Tue 11/6/12																																					
36	Design Development	75 days	Wed 1/2/13	Tue 4/16/13																																					

File: Design Schedule 20121217all.mp Task Progress Summary External Tasks Split ↕
 Date: Mon 12/17/12 Split Milestone Project Summary External MileTask

8.06(3)(g) Covenants:

At this time there are no specific covenants in place affecting the proposed Planned Unit Development. Any future operating agreements, provisions, or covenants that may arise will be submitted promptly for review and approval.

8.06(3)(h) Density:

The proposed Planned Unit Development as submitted does not include any residential uses as defined by the Village of Lincolnwood and therefore residential density information is not included herein.

8.06(3)(j) Service Facilities:

A loading dock, located on the north side of Building 2, will provide for all service needs. The basement connects all buildings.

Surface parking is available for approximately 470 vehicles. This is a preliminary calculation, does not include ADA spaces and is not based on engineered drawings. We estimate that approximately 422 spaces are required for the hospitality/restaurant/banquet uses. When the future development is completed valet parking for the banquet function during high occupant load events may be required.

The Purple Hotel

4500 W Touhy Ave, Lincolnwood IL

DRAWING INDEX

COVER	TITLE SHEET, DRAWING INDEX
G-000	GENERAL NOTES, SYMBOLS
G-001	CODE MATRIX
G-002	PLAN DIAGRAMS - SITE
G-003	PLAN DIAGRAMS - FIRST FLOOR
G-004	PLAN DIAGRAMS - LOWER LEVEL
G-005	PLAN DIAGRAMS - GUESTROOMS
G-006	PLAN DIAGRAMS - GUESTROOMS
G-007	INTERIOR RENDERING
	SURVEY
ARCHITECTURAL	
AD-0-010	DEMOLITION SITE PLAN
A-0-010	SITE PLAN
A-0-100	LOWER LEVEL PLAN
A-0-101	LEVEL 01 PLAN
A-0-102	LEVEL 02 PLAN
A-0-103	LEVEL 03 PLAN
A-0-104	LEVEL 04 PLAN
A-0-105	LEVEL 05 PLAN
A-0-106	LEVEL 06 PLAN
A-0-107	LEVEL 07 PLAN
A-0-110	ROOF PLAN
AD-1-200	BUILDING 01 LOWER LEVEL DEMOLITION PLAN
A-1-200	BUILDING 01 LOWER LEVEL PLAN
AD-2-200	BUILDING 02 LOWER LEVEL DEMOLITION PLAN
A-2-200	BUILDING 02 LOWER LEVEL PLAN
AD-4-200	BUILDING 04 LOWER LEVEL DEMOLITION PLAN
A-4-200	BUILDING 04 LOWER LEVEL PLAN
AD-1-201	BUILDING 01 FIRST FLOOR DEMOLITION PLAN
A-1-201	BUILDING 01 FIRST FLOOR PLAN
AD-2-201	BUILDING 02 FIRST FLOOR DEMOLITION PLAN
A-2-201	BUILDING 02 FIRST FLOOR PLAN
AD-3-201	BUILDING 03 FIRST AND SECOND FLOOR DEMOLITION PLAN
A-3-201	BUILDING 03 FIRST AND SECOND FLOOR PLANS
AD-4-201	BUILDING 04 FIRST FLOOR DEMOLITION PLAN
A-4-201	BUILDING 04 FIRST FLOOR PLAN
AD-1-202	BUILDING 01 TYPICAL GUESTROOM DEMOLITION PLAN
A-1-202	BUILDING 01 TYPICAL GUESTROOM PLAN
AD-3-202	BUILDING 03 THIRD FLOOR DEMOLITION PLAN
A-3-202	BUILDING 03 THIRD FLOOR PLAN
AD-4-202	BUILDING 04 TYPICAL GUESTROOM DEMOLITION PLAN
A-4-202	BUILDING 04 TYPICAL GUESTROOM PLAN
A-1-206	BUILDING 01 DETAIL LAYOUT PLAN
A-4-206	BUILDING 04 DETAIL ROOM LAYOUT
A-1-210	BUILDING 01 ROOF PLAN
A-2-210	BUILDING 02 ROOF PLAN
A-3-210	BUILDING 03 ROOF PLAN
A-4-210	BUILDING 04 ROOF PLAN
A-1-300	BUILDING 01 SOUTH/NORTH ELEVATION
A-1-301	BUILDING 01 EAST/WEST ELEVATION
A-2-300	BUILDING 02 ELEVATIONS
A-3-300	BUILDING 03 ELEVATIONS
A-4-300	BUILDING 04 ELEVATIONS
A-1-310	BUILDING 01 AND 02 SECTIONS
A-3-310	BUILDING 03 SECTIONS
A-4-310	BUILDING 04 SECTIONS
A-500	FINISH SCHEDULE
INTERIOR DESIGN	
ID-1-201	BUILDING 01 INTERIOR PLANS
ID-4-201	BUILDING 04 INTERIOR PLANS



ISSUED FOR SCHEMATIC DESIGN
OCTOBER 10, 2012



Weiss Properties
Skokie, IL



KOO AND ASSOCIATES LTD
53 W JACKSON BLVD STE 215
CHICAGO IL 60604
312- 235-0920 PH

TESKA ASSOCIATES, INC
627 GROVE ST. EVANSTON, IL 60201

GENERAL NOTES:

- The contractor shall supervise and direct the work using the contractor's best skill and attention. The contractor shall be solely responsible for and have complete charge of Construction means, methods, techniques, sequences, procedures and personnel safety programs for coordinating all portions of the scope of this work. Neither the architect nor the owner or their agents will assume any of these responsibilities and they shall be "held harmless" from any liabilities that may arise as a result of the contractor's failure, neglect or omission to properly uphold these responsibilities as described herein and in other documents of this contract.
- All work materials and construction details must comply with any and all applicable federal, state and local building, health and fire codes. In case of conflict between jurisdiction codes, the more stringent shall apply.
- All contractors shall comply with the latest edition of the O.S.M.A. construction and safety manuals.
- Contractor shall obtain and pay for all permits and inspection fees.
- Contractor shall coordinate with owner and/or architect all phasing of construction operations in order to maintain use of all critical functions, utilities, services and other related items with the existing facilities. Coordinate with architect and/or owner prior to bidding.
- The contractor shall advise the architect, in writing, of the actual start of work indicated on these drawings and furnish a graphic construction schedule showing major trades and final completion of same.
- The architect shall have the right at any time to make alterations, additions to and deductions from the work shown on the drawings or described in the specifications without voiding the contract. All such items will be covered by a revision note to the plans, written job order and/or supplement to the contract by the construction manager and/or the architect.
- Any changes, substitution, omission, or other deviations from these drawings during or before the construction shall not be the responsibility of the architect unless authorized in writing by the architect or his representative. Changes not approved by proper authorities shall be retained and/or corrected at the contractor's expense.
- The contractor, without extra charge shall make such slight alterations, cutting, fitting or patching of his work as may be necessary to make adjustable parts fit in final work, leaving it complete and in proper condition when completed.
- It shall be the responsibility of each contractor and his respective subcontractors to keep the building and adjoining premises free of all times from the accumulation of debris as a result of the work performed each day of construction.
- The contractor is responsible for providing all dumpsters and for making arrangements with owner for placement of these dumpsters for any clean-up. The site shall remain clean at all contractors' dumpster locations. Dumpster locations shall not obstruct access to the loading dock. The contractor shall restore these areas to their original condition upon completion and is responsible for any landscaping repairs/replacement required as a result of construction activities.
- The contractor shall include any and all work needed to be done after hours or on weekends, any work requiring shutdowns or any work that may constitute overtime in the base bid if required by the school's schedule/closure.
- Provide temporary barriers and/or partitions during construction to prevent spread of dust or other related materials. Verify and coordinate locations with the architect and/or owner. Contractor shall maintain or required exit ways at all times.
- Contractor shall verify all existing conditions and dimensions in field before commencing with new work. Any discrepancies between the drawings and existing conditions shall be brought to the immediate attention of the architect and/or owner orally and in writing. Any extra work or cost must be approved in writing by the proper authorities.
- All matters of aesthetic effect must be determined by the architect.
- Where existing items are to be relocated and/or re-installed, the contractor shall install such items equalling or exceeding the quality of existing installation both structurally and aesthetically. Contractor is to verify quality of installation with the architect.
- In all cases where existing conditions are altered, new materials, partitions, or products are installed, the contractor shall patch and finish floors, walls, ceilings and other affected areas to match existing conditions.
- The color and texture of all new construction surfaces shall match that of existing adjacent surfaces, unless otherwise indicated or noted.
- Contractor to replace or correct any and all existing construction to remain that is damaged by construction and/or installation process to match existing of no additional cost to the owner. The contractor is to document all existing conditions prior to the start of all work. This includes adjacent areas where work is not to be done.
- All wood will be fire retardant treated to comply with applicable codes.
- All wall, door and ceiling finishes will be Class I and comply with the local fire protection and building codes.
- The general contractor shall be responsible for the removal of an demolition materials. Removal of debris and dumpster location must be coordinated with owner/contractor.
- Curb ramps shall comply with section 400.310(d) of the Illinois Accessibility Code.
- Architectural drawings take precedence over engineering drawings for electrical and telephone outlets and light fixture locations. Contractor is to notify architect of discrepancies.
- Dimensions shown are to finished face of wall unless specifically noted otherwise. Partition thickness and construction are designated by partition targets - refer to partition details for requirements.
- Do not scale drawings, dimensions shall govern. Large scale details shall govern over small scale details.
- Wherever general notes, legends & other descriptions appear on one drawing they are applicable to all drawings of the same or similar type.
- All materials, methods of installation and finishing of construction systems (partitions, ceiling, doors, frames, doors, etc.) shall conform to the manufacturers' specifications and installation instructions for its intended use.
- As part of final clean-up, the contractor shall clean all areas within the project boundary, and any other areas of the building during construction. Contractor and the subcontractors shall turn the project over to the owner, free from all construction debris, material and equipment. All residual floorings mopped down, carpet vacuumed, and all walls, fixtures and equipment free of dirt and other foreign materials.
- Contractor shall be responsible for all subcontractor trades submission of "RECORD" drawings upon completion of project.

ABBREVIATIONS

ACI	Architectural Council	MEP	Mechanical
AGI	Agency Group	MEI	Mechanical
AIT	Alarm Inhibit Floor	MI	Mechanical
AIS	Alarm Inhibit Detector	MI	Mechanical
ALM	Alarm	MI	Mechanical
AM	Alarm	MI	Mechanical
AMC	Alarm Monitor Control	MI	Mechanical
AMP	Alarm Monitor Panel	MI	Mechanical
AP	Alarm Panel	MI	Mechanical
APC	Alarm Panel Control	MI	Mechanical
APD	Alarm Panel Detector	MI	Mechanical
APF	Alarm Panel Fire	MI	Mechanical
APR	Alarm Panel Reset	MI	Mechanical
APV	Alarm Panel Valve	MI	Mechanical
APW	Alarm Panel Water	MI	Mechanical
APX	Alarm Panel X	MI	Mechanical
APY	Alarm Panel Y	MI	Mechanical
APZ	Alarm Panel Z	MI	Mechanical
APAA	Alarm Panel A	MI	Mechanical
APAB	Alarm Panel B	MI	Mechanical
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APAR	Alarm Panel R	MI	Mechanical
APAS	Alarm Panel S	MI	Mechanical
APAT	Alarm Panel T	MI	Mechanical
APAU	Alarm Panel U	MI	Mechanical
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APAU	Alarm Panel U	MI	Mechanical
APAV	Alarm Panel V	MI	Mechanical
APAW	Alarm Panel W	MI	Mechanical
APAX	Alarm Panel X	MI	Mechanical
APAY	Alarm Panel Y	MI	Mechanical
APAZ	Alarm Panel Z	MI	Mechanical
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APAB	Alarm Panel B	MI	Mechanical
APAC	Alarm Panel C	MI	Mechanical
APAD	Alarm Panel D	MI	Mechanical
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APAF	Alarm Panel F	MI	Mechanical
APAG	Alarm Panel G	MI	Mechanical
APAH	Alarm Panel H	MI	Mechanical
APAI	Alarm Panel I	MI	Mechanical
APAJ	Alarm Panel J	MI	Mechanical
APAK	Alarm Panel K	MI	Mechanical
APAL	Alarm Panel L	MI	Mechanical
APAM	Alarm Panel M	MI	Mechanical
APAN	Alarm Panel N	MI	Mechanical
APAO	Alarm Panel O	MI	Mechanical
APAN	Alarm Panel P	MI	Mechanical
APAR	Alarm Panel R	MI	Mechanical
APAS	Alarm Panel S	MI	Mechanical
APAT	Alarm Panel T	MI	Mechanical
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APAJ	Alarm Panel J	MI	Mechanical
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APAS	Alarm Panel S	MI	Mechanical
APAT	Alarm Panel T	MI	Mechanical
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APAJ	Alarm Panel J	MI	Mechanical
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APAS	Alarm Panel S	MI	Mechanical
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APAC	Alarm Panel C	MI	Mechanical
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APAE	Alarm Panel E	MI	Mechanical
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APAI	Alarm Panel I	MI	Mechanical
APAJ	Alarm Panel J	MI	Mechanical
APAK	Alarm Panel K	MI	Mechanical
APAL	Alarm Panel L	MI</	



PARKING ANALYSIS 474 TOTAL SPACES
 208 ROOM HOTEL / BANQUET / AMENITY:
 316 SPACES REQUIRED

1 SITE DIAGRAM

KEY PLAN

WEISS



WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076



KOO AND ASSOCIATES LTD.
 83 W JACKSON BLVD STE 215
 CHICAGO, IL 60604
 312-755-0200 PH

Engineer 1

STRUCTURAL ENGINEER

Engineer 2

CIVIL ENGINEER

Engineer 3

MEP ENGINEER

Engineer 4

EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DATE:

PLAN
 DIAGRAMS

SITE

DRWG. NO.

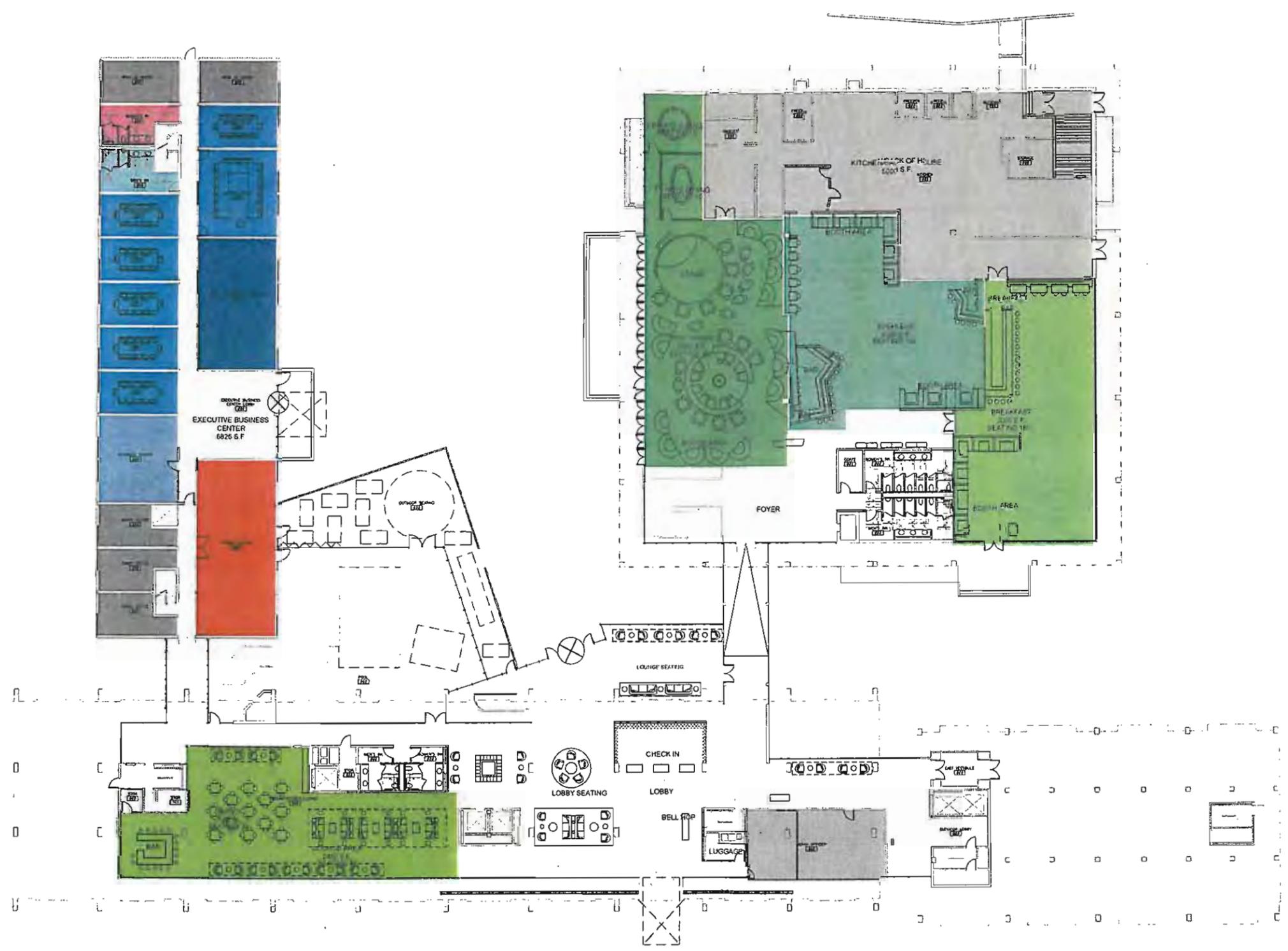
G-002

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USPS

POST SALE

POST DATE



1 FIRST FLOOR DIAGRAM

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd. Suite 100
 Skokie, Illinois 60076

100 AND ASSOCIATES LTD.
 33 W. JACKSON ST. 215
 CHICAGO, ILLINOIS
 312-255-0231

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTERIOR ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY:

PLAN
 DIAGRAMS

FIRST FLOOR

GRAPHIC NO.

G-003

© 2012 100 AND ASSOCIATES LTD.

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



1 LOWER LEVEL DIAGRAM

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
 3311 JACKSON BLVD STE 214
 CHICAGO IL 60604
 312-236-0200 PM

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

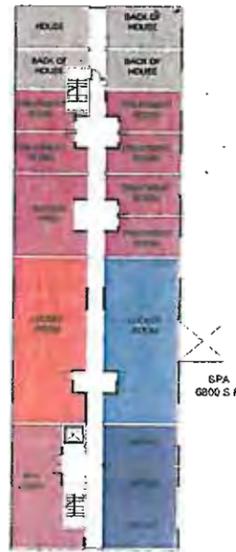
PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

SCALE 1/8" = 1'-0"

PLAN
 DIAGRAMS
 LOWER LEVEL
 DRAWING NO.

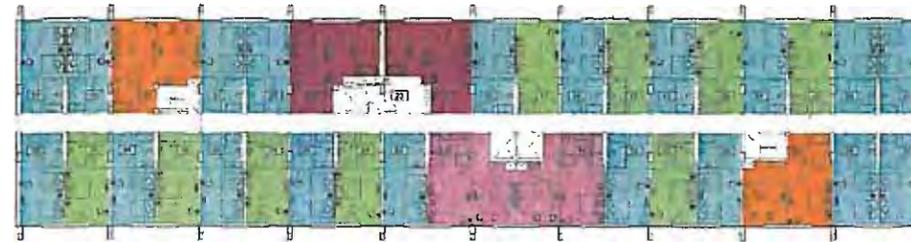
G-004



SPA FLOOR PLAN
BUILDING 03
SPA/OFFICE PLANS

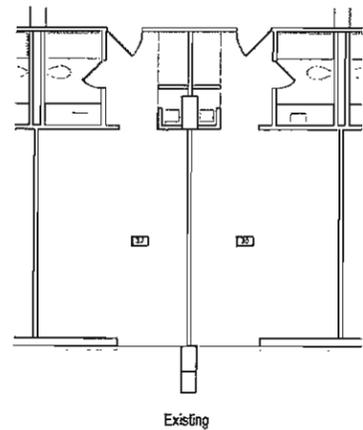


OFFICE FLOOR PLAN

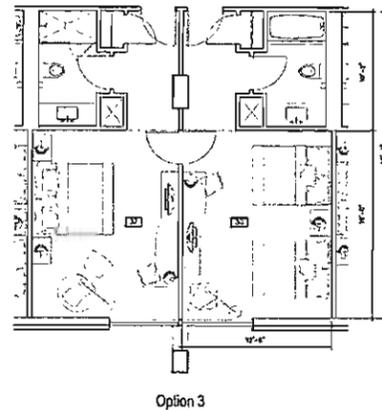


BUILDING 01
TYPICAL GUEST ROOM FLOOR

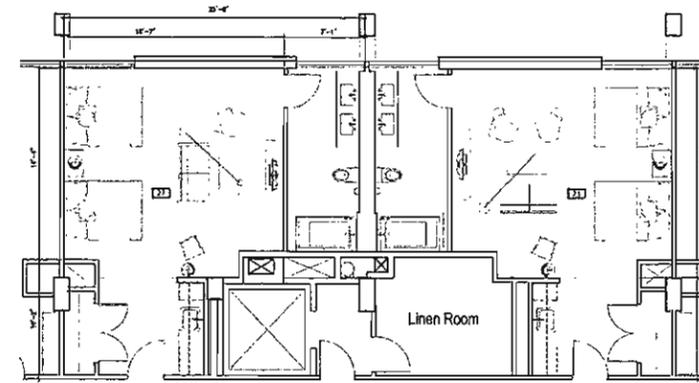
DOUBLE QUEEN SUITE TYPE 1
KING SUITE TYPE 1
DOUBLE QUEEN SUITE TYPE 2
KING SUITE TYPE 2



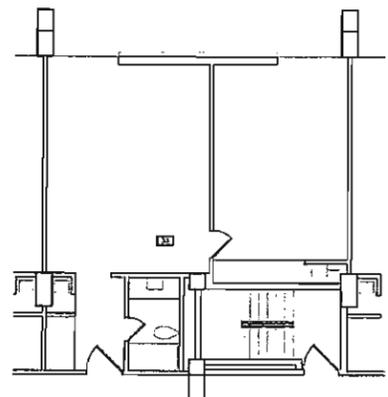
Existing



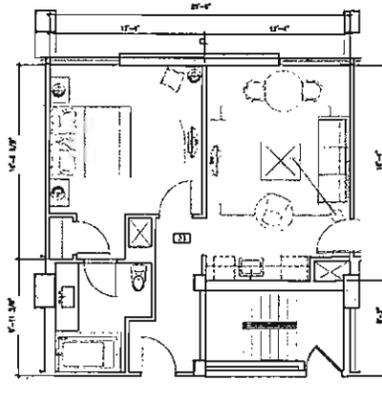
Option 3



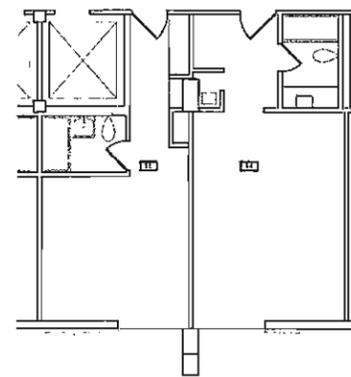
Double Queen Suite Type 1



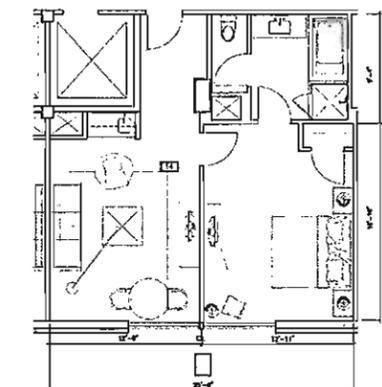
Existing



King Suite Type 2



Existing



King Suite Type 1

BUILDING 01
GUEST ROOM LAYOUTS

KEY PLAN

WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD.
53 W JACKSON BLVD STE 216
CHICAGO IL 60604
312-253-0500

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTERIOR ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY:

PLAN
DIAGRAMS

GUESTROOMS

DRAWING NO.

G-005

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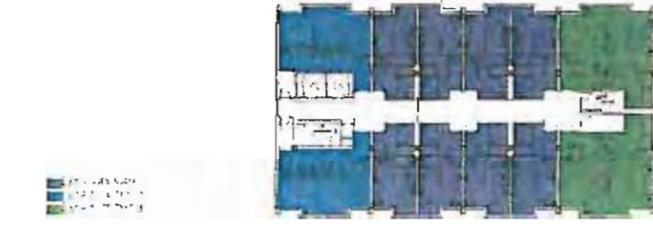
USDR
PLOT SCALE:
PLOT DATE:

6-STORY BUILDING		
ROOM NO	ROOM NAME	ROOM TYPE
01	GUESTROOM	DOUBLE QUEEN
02	GUESTROOM	DOUBLE QUEEN
03	GUESTROOM	DOUBLE QUEEN
04	GUESTROOM	DOUBLE QUEEN
05	GUESTROOM	KING
06	SUITE	KING SUITE
07	GUESTROOM	DOUBLE QUEEN
08	GUESTROOM	DOUBLE QUEEN
09	GUESTROOM	KING
10A	GUESTROOM	DOUBLE QUEEN
11	GUESTROOM	DOUBLE QUEEN
12	GUESTROOM	DOUBLE QUEEN
13	GUESTROOM	KING
14	SUITE	KING SUITE
15	GUESTROOM	DOUBLE QUEEN
17A	GUESTROOM	DOUBLE QUEEN
18	GUESTROOM	DOUBLE QUEEN
20A	SUITE	KING SUITE
21A	SUITE	DOUBLE QUEEN SUITE
22A	GUESTROOM	DOUBLE QUEEN
23	ENRICH ROOM	N/A
24	GUESTROOM	KING
25	GUESTROOM	DOUBLE QUEEN
27	SUITE	DOUBLE QUEEN SUITE
28	GUESTROOM	KING
29	GUESTROOM	DOUBLE QUEEN
30	GUESTROOM	DOUBLE QUEEN
31	GUESTROOM	DOUBLE QUEEN
32	GUESTROOM	KING
33	SUITE	KING SUITE
34	GUESTROOM	DOUBLE QUEEN
35	GUESTROOM	DOUBLE QUEEN
36	GUESTROOM	KING
37	GUESTROOM	DOUBLE QUEEN
38	GUESTROOM	DOUBLE QUEEN
SUMMARY PER FLOOR		QUANTITY PER FLOOR
	KING	3
	DOUBLE QUEEN	18
	KING SUITE	4
	DOUBLE QUEEN SUITE	2
	TOTAL PER FLOOR	34
6-STORY BUILDING SUMMARY		TOTAL IN BUILDING
	KING	3
	DOUBLE QUEEN	18
	KING SUITE	4
	DOUBLE QUEEN SUITE	2
	BUILDING TOTAL	134

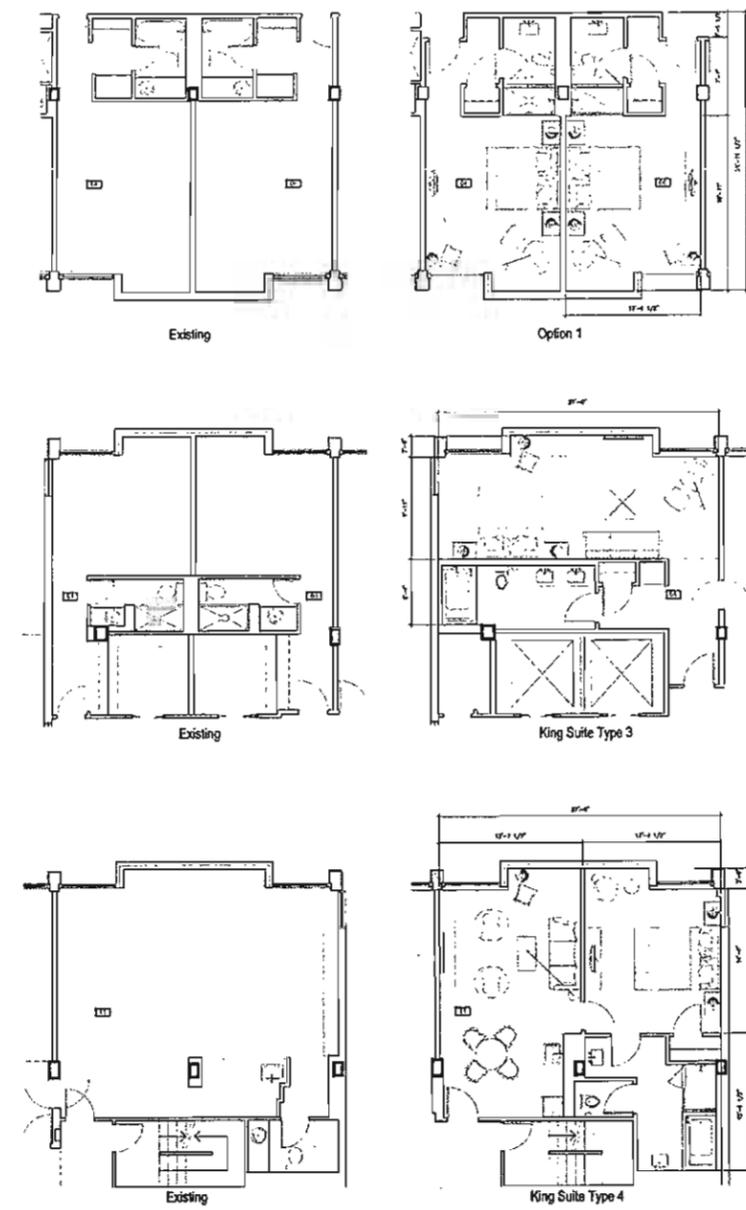
3 GUESTROOM MATRIX

7-STORY BUILDING		
ROOM NO	ROOM NAME	ROOM TYPE
03	GUESTROOM	KING
04A	GUESTROOM	KING
05	GUESTROOM	KING
06	GUESTROOM	KING
07	GUESTROOM	KING
08	GUESTROOM	KING
09	GUESTROOM	KING
10	GUESTROOM	KING
11A	SUITE	KING SUITE
12	SUITE	KING SUITE
SUMMARY PER FLOOR		QUANTITY PER FLOOR
	KING	9
	KING SUITE	4
	TOTAL PER FLOOR	12
7-STORY BUILDING SUMMARY		TOTAL IN BUILDING
	KING	49
	KING SUITE	24
	BUILDING TOTAL	73

7-STORY AND 6-STORY BUILDING SUMMARY	
NEW GUESTROOM	24
DOUBLE QUEEN GUESTROOM	76
KING SUITE	49
DOUBLE QUEEN SUITE	8
PROJECT TOTAL	202



1 BUILDING 04 TYPICAL GUEST ROOM FLOOR



2 BUILDING 04 GUEST ROOM LAYOUTS

KEY PLAN

WEISS

WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

K&O AND ASSOCIATES LTD
35 W. JACKSON BLVD STE 715
CHICAGO, IL 60604
312-226-6200 FX

- Engineer 1 **STRUCTURAL ENGINEER**
- Engineer 2 **CIVIL ENGINEER**
- Engineer 3 **MEP ENGINEER**
- Engineer 4 **EXTERIOR ENGINEER**

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

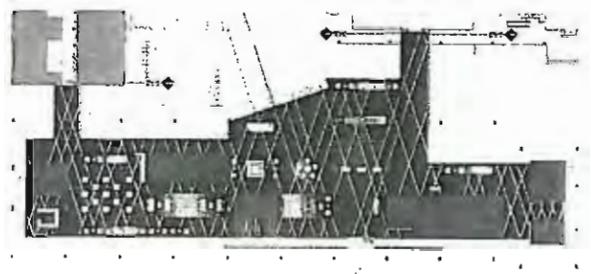
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

PLAN
DIAGRAMS

GUESTROOMS

DRAWING NO.
G-006

USDK
PLOT SCALE:
PLOT DATE:



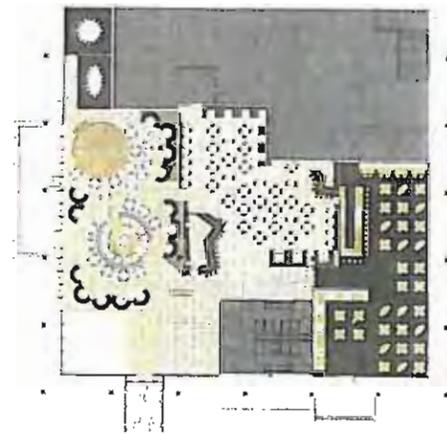
9 BUILDING 01
RENDERED FIRST FLOOR PLAN



6 BUILDING 01
LOBBY INTERIOR



3 BUILDING 01
TOUHY AVENUE ENTRANCE



8 BUILDING 02
RENDERED FIRST FLOOR PLAN



5 BUILDING 01
LOBBY INTERIOR



2 BUILDING 03
EXECUTIVE BUSINESS CENTER ENTRANCE



7 PROJECT SITE
BIRD'S EYE VIEW



4 BUILDING 01
LOBBY INTERIOR



1 BUILDING 02
COURTYARD RENDERING

KEY PLAN
WEISS
PARALLELS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

100 AND ASSOCIATES LTD
81 W JACKSON BLVD STE 215
CHICAGO IL 60604
312-255-0820 PH

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

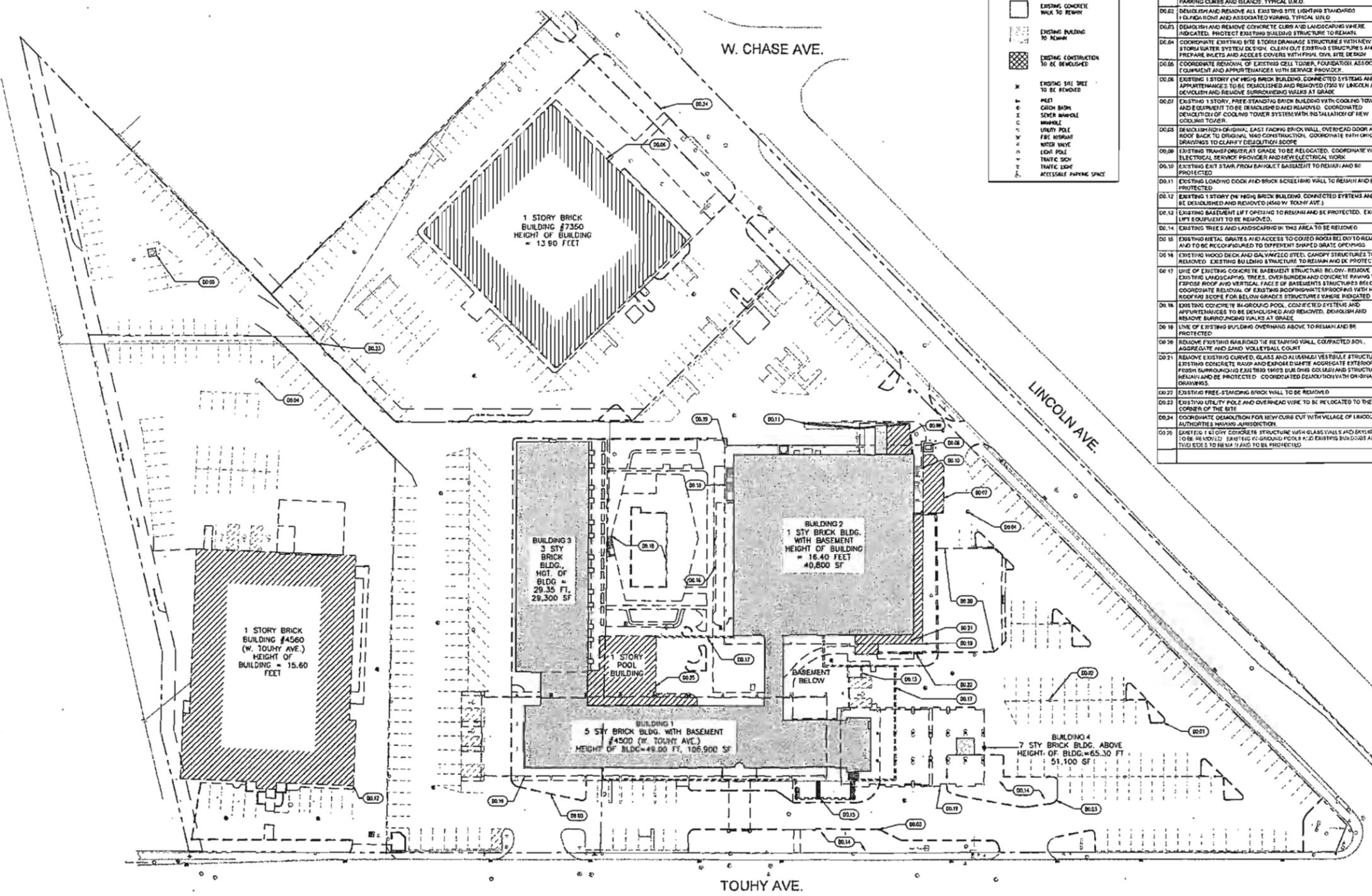
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

DATE: _____
DRAWN BY: _____

INTERIOR
RENDERINGS

DRAWING NO.
G-007

USER: _____
PLOT SCALE: _____
PLOT DATE: _____



LEGEND

- 00.00 DEMOLITION KEYED NOTE - SEE KEYED NOTE SCHEDULE
- EXISTING PROPERTY LINES
- EXISTING CONCRETE WALK TO BE DEMOLISHED
- EXISTING CONCRETE WALK TO REMAIN
- EXISTING BUILDING TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- X EXISTING SITE TREE TO BE REMOVED
- M MET
- G GROUND SIGN
- S SEWER MANHOLE
- W WIRE
- U UTILITY POLE
- F FIRE HOSEMAN
- N WATER VALVE
- L LIGHT POLE
- T TRAFFIC SIGN
- E EXISTING TRAFFIC LIGHT
- A ACCESSIBLE PARKING SPACE

GENERAL NOTES

- A. REVIEW ALL APPLICABLE ENVIRONMENTAL REPORTS BEFORE COMMENCEMENT TO WORK.
- B. REVIEW CONTRACTUAL REQUIREMENTS OF ALL EXISTING FASTENING AGREEMENTS.
- C. ALL WORK INDICATED IS TO BE NEW, UNLESS SPECIFICALLY NOTED AS EXISTING TO REMAIN.
- D. PROTECT ALL EXISTING STREET TREES AND SIDEWALK PAVING ALONG LINCOLN AND TOUHY.

DEMOLITION KEYED NOTES

- 00.01 DEMOLISH AND REMOVE ALL EXISTING NON-BUILDING ATTACHED CONCRETE PARKING CURBS AND ISLANDS. TYPICAL U.M.D.
- 00.02 DEMOLISH AND REMOVE ALL EXISTING SITE LIGHTING STANDARDS, EXHAUSTION AND ASSOCIATED WIRING. TYPICAL U.M.D.
- 00.03 DEMOLISH AND REMOVE CONCRETE CURB AND LANDSCAPING WHERE INDICATED. PROTECT EXISTING BUILDING STRUCTURE TO REMAIN.
- 00.04 COORDINATE EXISTING SITE STORAGE DRAINAGE STRUCTURES WITH NEW CIVIL STORAGE SYSTEM DESIGN. CLEAN OUT EXISTING STRUCTURES AND PREPARE INLETS AND ACCESS COVERS WITH FINAL CIVIL SITE DESIGN.
- 00.05 COORDINATE REMOVAL OF EXISTING CELL TOWER, FOUNDATION, ASSOCIATED EQUIPMENT AND APPURTENANCES WITH SERVICE PROVIDER.
- 00.06 EXISTING 1 STORY (14' HIGH) BRICK BUILDING, CONNECTED SYSTEMS AND APPURTENANCES TO BE DEMOLISHED AND REMOVED (7500 W. LINCOLN AVE.) DEMOLISH AND REMOVE SURROUNDING WALKS AT GRADE.
- 00.07 EXISTING 1 STORY, FREE-STANDING BRICK BUILDING WITH COOLING TOWER AND EQUIPMENT TO BE DEMOLISHED AND REMOVED. COORDINATED DEMOLITION OF COOLING TOWER SYSTEM WITH INSTALLATION OF NEW COOLING TOWER.
- 00.08 DEMOLISH ORIGINAL GAST FACING BRICK WALL, OVERHEAD DOOR AND ROOF BACK TO ORIGINAL 1940 CONSTRUCTION. COORDINATE WITH ORIGINAL DRAWINGS TO CLARIFY DEMOLITION SCOPE.
- 00.09 EXISTING TRANSFORMER AT GRADE TO BE RELOCATED. COORDINATE WITH ELECTRICAL SERVICE PROVIDER AND REELECTRICAL WORK.
- 00.10 EXISTING EXIT STAIR FROM BANQUET BASEMENT TO REMAIN AND BE PROTECTED.
- 00.11 EXISTING LOADING DOCK AND BRICK SCREENING WALL TO REMAIN AND BE PROTECTED.
- 00.12 EXISTING 1 STORY (14' HIGH) BRICK BUILDING, CONNECTED SYSTEMS AND TO BE DEMOLISHED AND REMOVED (4540 W. TOUHY AVE.)
- 00.13 EXISTING BASEMENT LIFT OPENING TO REMAIN AND BE PROTECTED. EXISTING LIFT EQUIPMENT TO BE REMOVED.
- 00.14 EXISTING TREES AND LANDSCAPING IN THIS AREA TO BE REMOVED.
- 00.15 EXISTING METAL GRATES AND ACCESS TO COVERED ROOF BELOW TO REMAIN AND TO BE RECONFIGURED TO DIFFERENT SHAPED GRATE OPENINGS.
- 00.16 EXISTING WOOD DECK AND GALVANIZED STEEL CANOPY STRUCTURES TO BE REMOVED. EXISTING BUILDING STRUCTURE TO REMAIN AND BE PROTECTED.
- 00.17 LINE OF EXISTING CONCRETE BASEMENT STRUCTURE BELOW. REMOVE EXISTING LANDSCAPING, TREES, OVERBURDEN AND CONCRETE PAVING TO EXPOSE ROOF AND VERTICAL FACES OF BASEMENTS STRUCTURES BELOW. COORDINATE REMOVAL OF EXISTING ROOFING WITH NEW ROOFING SCOPE FOR BELOW GRADE STRUCTURES WHERE INDICATED.
- 00.18 EXISTING CONCRETE IN-GROUND POOL, CONNECTED SYSTEMS AND APPURTENANCES TO BE DEMOLISHED AND REMOVED. DEMOLISH AND REMOVE SURROUNDING WALKS AT GRADE.
- 00.19 LINE OF EXISTING BUILDING OVERHANG ABOVE TO REMAIN AND BE PROTECTED.
- 00.20 REMOVE EXISTING BARBRODIE RE-TAKING WALL, COMPACTED SOIL, AGGREGATE AND SAND VOLLEYBALL COURT.
- 00.21 REMOVE EXISTING CURVED, GLASS AND ALUMINUM VESTIBULE STRUCTURE, EXISTING CONCRETE RAUP AND EXPOSE QUARTE AGGREGATE EXTERIOR FLOOR SURROUNDING EXISTING WOOD SIGN OVER GARAGE STRUCTURE TO REMAIN AND BE PROTECTED. COORDINATED DEMOLITION WITH ORIGINAL DRAWINGS.
- 00.22 EXISTING FREE-STANDING BRICK WALL TO BE REMOVED.
- 00.23 EXISTING UTILITY POLE AND OVERHEAD WIRE TO BE RELOCATED TO THE CORNER OF THE SITE.
- 00.24 COORDINATE DEMOLITION FOR NEW CURB CUT WITH VILLAGE OF LINCOLN AND AUTHORITY'S HAVING JURISDICTION.
- 00.25 EXISTING 1 STORY CONCRETE STRUCTURE WITH GLASS VIEWS AND OVERLIGHTS TO BE REMOVED. EXISTING IN-GROUND POOLS AND EXISTING SIGNAGE ALONG TOUHY STREETS TO REMAIN AND TO BE PROTECTED.

KEY PLAN

WEISS
PROPERTIES
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

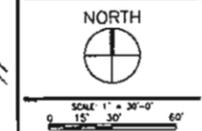
ROD AND ASSOCIATES LTD
83 W JACKSON BLDG STE 215
CHICAGO IL 60604
312-254-0950 FAX

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN



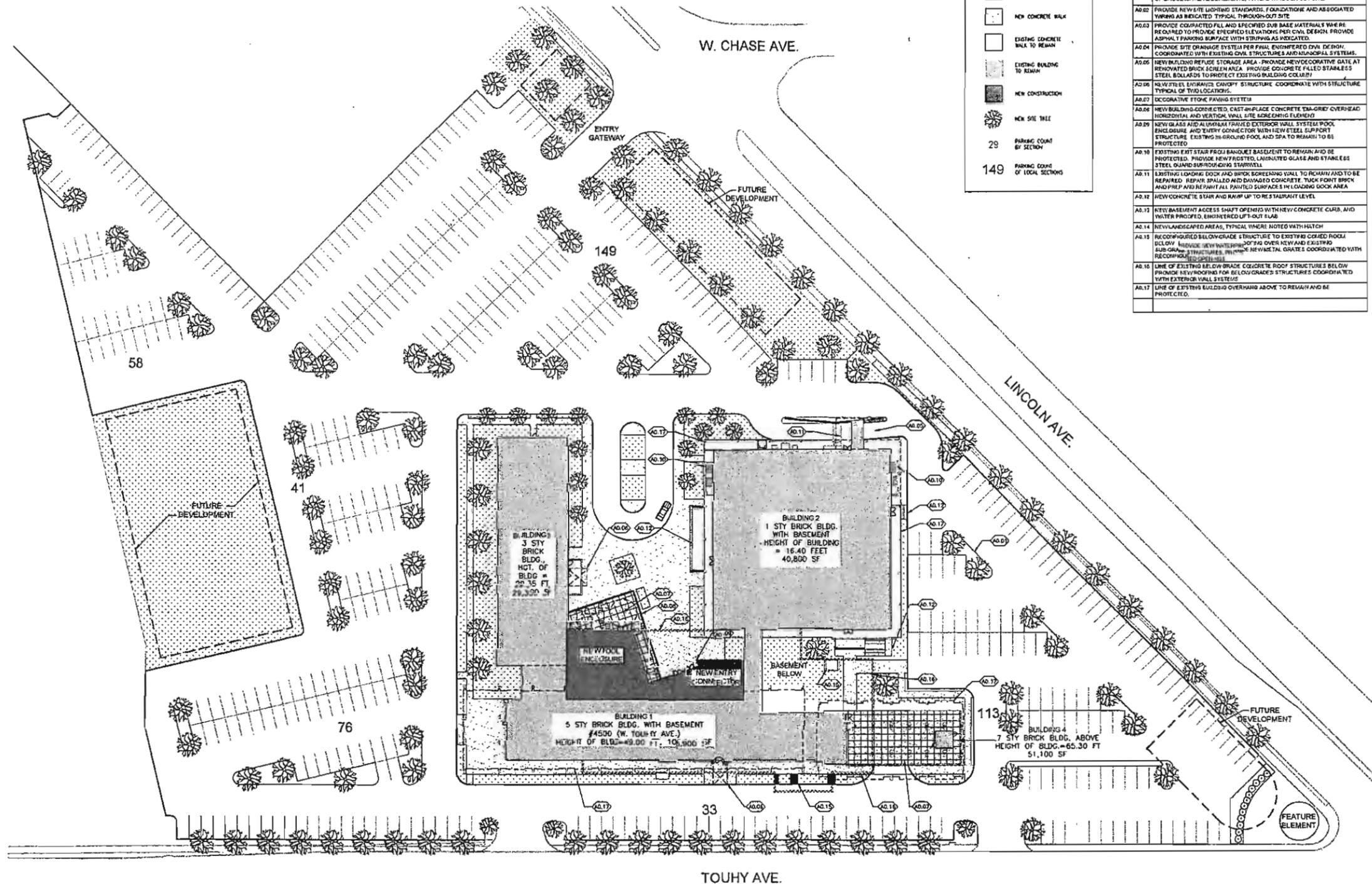
DEMOLITION SITE PLAN

DRAWING NO.
AD.0-010

1 DEMOLITION SITE PLAN
1" HIGH = 30' FEET

USER: PLOT SCALE: PLOT DATE:

PARKING ANALYSIS 474 TOTAL SPACES
 208 ROOM HOTEL / BANQUET / AMENITY:
 316 SPACES REQUIRED



LEGEND

- NEW WORK ELECTED NOTE
- NEW LANDSCAPING
- NEW EXTERIOR STONE PAVING
- NEW CONCRETE WALK
- EXISTING CONCRETE WALK TO REMAIN
- EXISTING BUILDING TO REMAIN
- NEW CONSTRUCTION
- NEW SITE TREE
- 29 PARKING COUNT BY SECTION
- 149 PARKING COUNT OF LOCAL SECTIONS

GENERAL NOTES

- A. REVIEW ALL APPLICABLE ENVIRONMENTAL REPORTS BEFORE COMMENCEMENT OF WORK.
- B. REVIEW CONTRACTUAL REQUIREMENTS OF ALL EXISTING EASEMENT AGREEMENTS.
- C. ALL WORK INDICATED IS TO BE NEW, UNLESS SPECIFICALLY NOTED OTHERWISE.
- D. PROTECT ALL EXISTING STREET TREES AND SIDEWALK MANNING ALONG LINCOLN AND TOUHY.

KEY PLAN NOTES

- A0.01 PROVIDE CONCRETE CURB PARKING ISLANDS AND LANDSCAPING PER VILLAGE OF LINCOLNSHIRE REQUIREMENTS, TYPICAL THROUGH-OUT SITE.
- A0.02 PROVIDE NEW SITE LIGHTING STANDARDS, FOUNDATIONS AND ASSOCIATED WIRING AS INDICATED TYPICAL THROUGH-OUT SITE.
- A0.03 PROVIDE COMPACTED FILL AND SPECIFIED SUB-BASE MATERIALS WHERE REQUIRED TO PROVIDE SPECIFIED ELEVATIONS PER CIVIL DESIGN. PROVIDE ASPHALT PARKING SURFACE WITH STRIPING AS INDICATED.
- A0.04 PROVIDE SITE DRAINAGE SYSTEM PER FINAL ENGINEERED DRAIN DESIGN, COORDINATED WITH EXISTING CIVIL STRUCTURES AND MUNICIPAL SYSTEMS.
- A0.05 NEW BUILDING REFUSE STORAGE AREA - PROVIDE NEW COGNITIVE GATE AT RENOVATED BRICK SCREEN AREA. PROVIDE CONCRETE FILLED STAINLESS STEEL BOLLARDS TO PROTECT EXISTING BUILDING CORNER.
- A0.06 NEW STEEL ENTRANCE CANOPY STRUCTURE COORDINATE WITH STRUCTURE TYPICAL OF THIS LOCATION.
- A0.07 COGNITIVE TONE PAVING SYSTEM.
- A0.08 NEW BUILDING CONNECTED, CAST-IN-PLACE CONCRETE TIA-GIRY OVERHEAD HORIZONTAL AND VERTICAL WALL SITE SCREENING ELEMENT.
- A0.09 NEW GLASS AND ALUMINUM FRAMED EXTERIOR WALL SYSTEM POOL ENCLOSURE AND ENTRY CONNECTION WITH NEW STEEL SUPPORT STRUCTURE. EXISTING HORIZONTAL POOL AND SPA TO REMAIN TO BE PROTECTED.
- A0.10 EXISTING EXT STAIR FROM BANQUET BASEMENT TO REMAIN AND BE PROTECTED. PROVIDE NEW FRIGID, LAMINATED GLASS AND STAINLESS STEEL GUARD SURROUNDING STAIRWELL.
- A0.11 EXISTING LOADING DOCK AND BRICK SCREENING WALL TO REMAIN AND TO BE REPAIRED. REPAIR SPALLED AND DAMAGED CONCRETE, TUCK POINT BRICK AND REPAIR AND REPAINT ALL PAINTED SURFACES IN LOADING DOCK AREA.
- A0.12 NEW CONCRETE STAIR AND RAMP UP TO RESTAURANT LEVEL.
- A0.13 NEW BASEMENT ACCESS SHAFT OPENING WITH NEW CONCRETE CURB, AND WATER PROOFED, ENGINEERED LIFT-OUT SLAB.
- A0.14 NEW LANDSCAPED AREA, TYPICAL WHERE NOTED WITH HATCH.
- A0.15 RECONFIGURED BELOW-GRADE STRUCTURE TO EXISTING COMED ROCKS BELOW. PROVIDE NEW WALKS AND STAIRS OVER NEW AND EXISTING BELOW-GRADE STRUCTURES, PROVIDE NEW VERTICAL GRATES COORDINATED WITH RECONFIGURED STAIRS.
- A0.16 LINE OF EXISTING BELOW-GRADE CONCRETE ROOF STRUCTURES BELOW PROVIDE NEW PROFILES FOR BELOW-GRADE STRUCTURES COORDINATED WITH EXTERIOR WALL SYSTEMS.
- A0.17 LINE OF EXISTING BUILDING OVERHANG ABOVE TO REMAIN AND BE PROTECTED.

KEY PLAN

WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

ROD AND ASSOCIATES LTD.
 83 W JACKSON BLVD STE 215
 CHICAGO, ILL 60604
 312-254-0270 PH

- Engineer 1
- Engineer 2
- Engineer 3
- Engineer 4

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

NORTH

SCALE: 1" = 30'-0"
 0 15' 30' 60'

SITE PLAN

DRAWING NO.
A.0-010

1 SITE PLAN
 1 INCH = 30 FEET

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____

KEY PLAN
WEISS
 PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

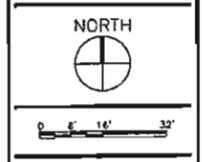
ROO AND ASSOCIATES LTD
 8817 JACKSON BLVD STE 215
 CHICAGO IL 60614
 312-224-9929 FAX

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

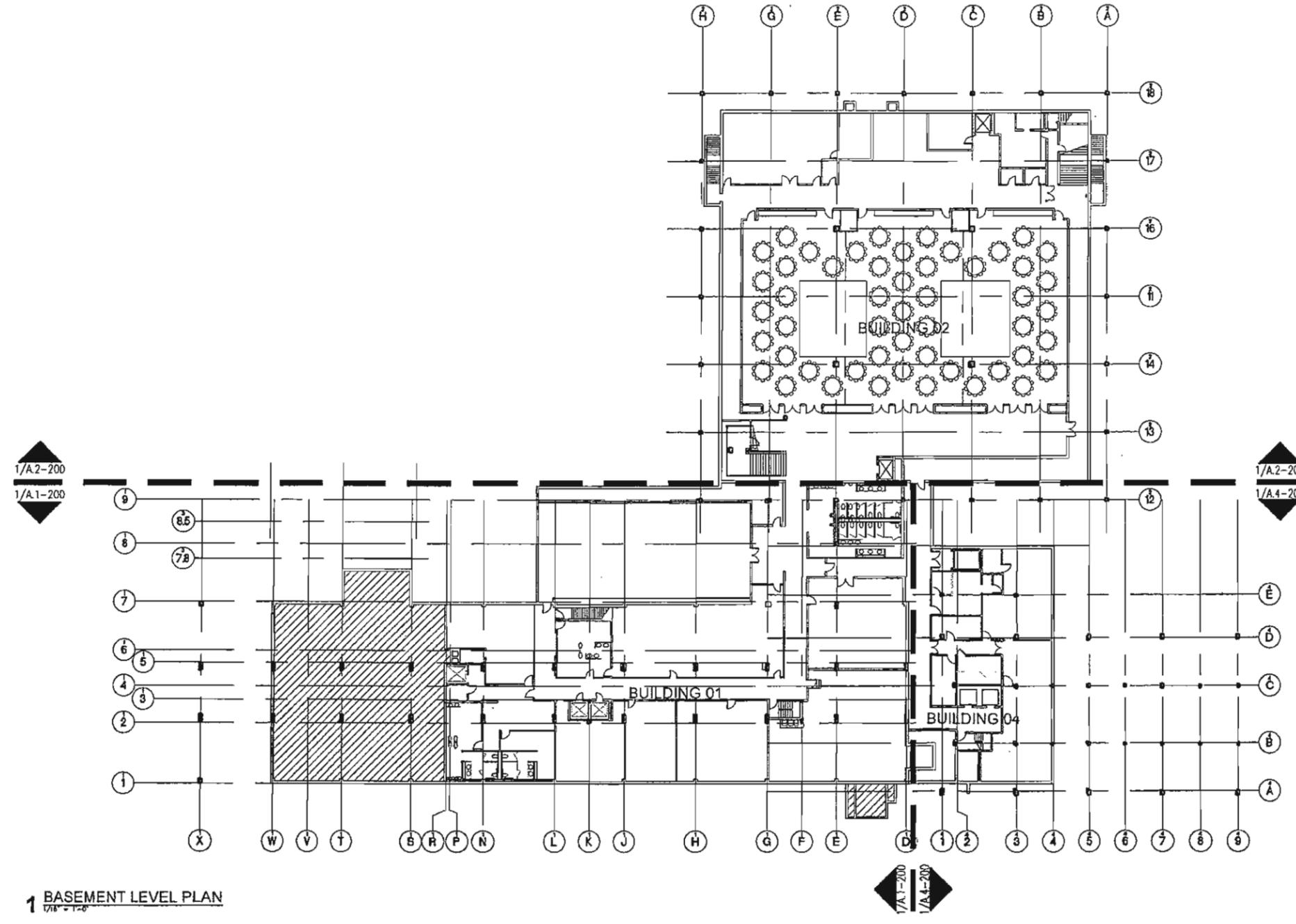
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	SCHEMATIC DESIGN



BASEMENT PLAN

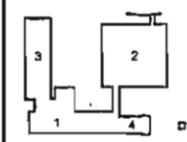
DRAWING NO.
A.0-100

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1 BASEMENT LEVEL PLAN
 1/8" = 1'-0"

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



KEY PLAN

WEISS
PROFESSIONAL ENGINEERS

WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

6000 AND ASSOCIATES LTD.
300 N. JACKSON BLVD. STE. 210
CHICAGO, IL 60604
312-253-0222 PH

Engineer 1
STRUCTURAL ENGINEER

Engineer 2
CIVIL ENGINEER

Engineer 3
MEP ENGINEER

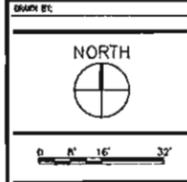
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

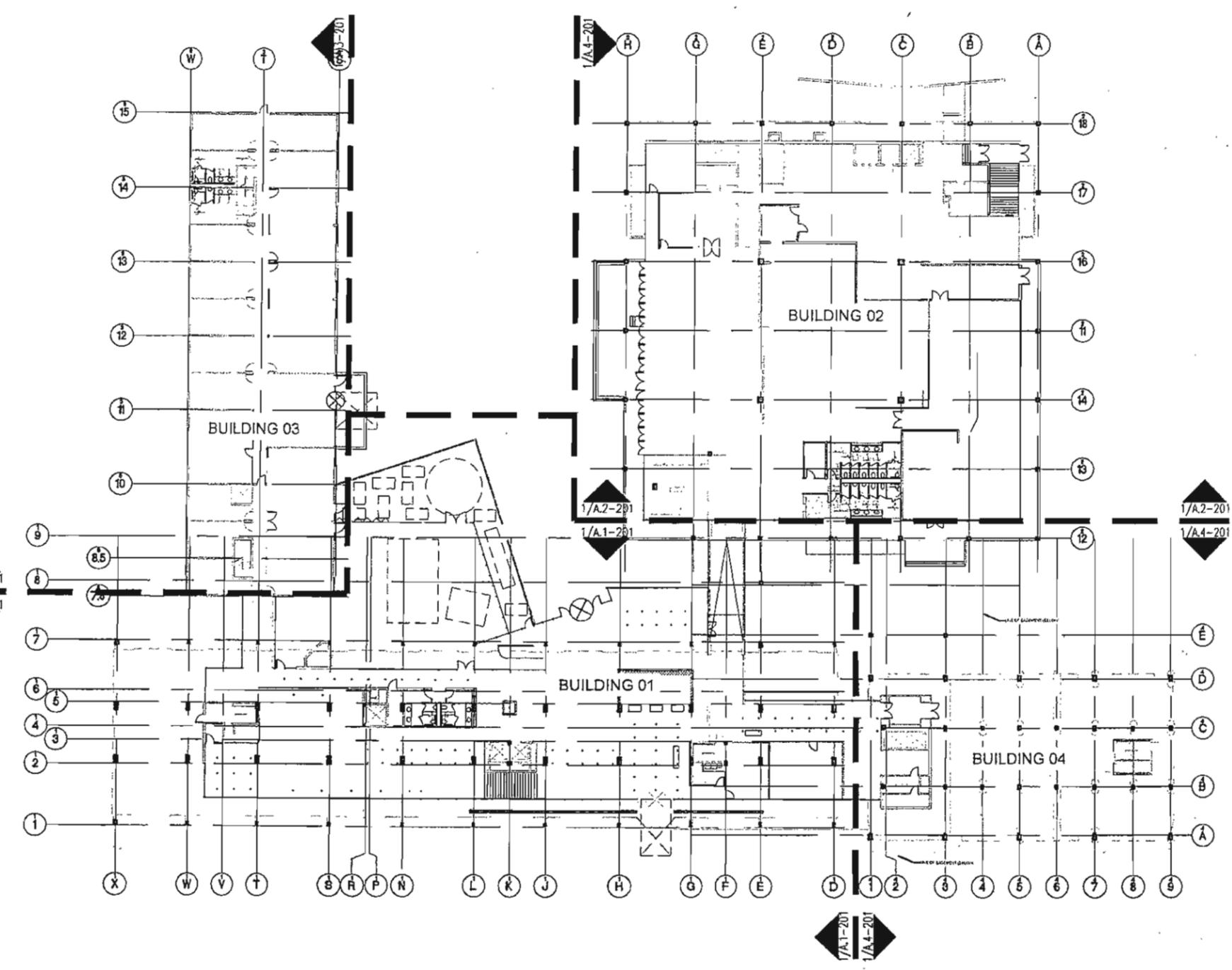
DATE	DESCRIPTION
	SCHEMATIC DESIGN



LEVEL 01
PLAN

DRAWING NO.
A.0-101

© 2012 6000 AND ASSOCIATES LTD.



1 LEVEL 01 PLAN
1/16" = 1'-0"

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____

KEY PLAN



Engineer 1
STRUCTURAL ENGINEER

Engineer 2
CIVIL ENGINEER

Engineer 3
MEP ENGINEER

Engineer 4
EXTRA ENGINEER

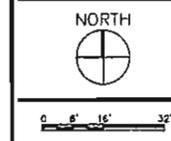
PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY

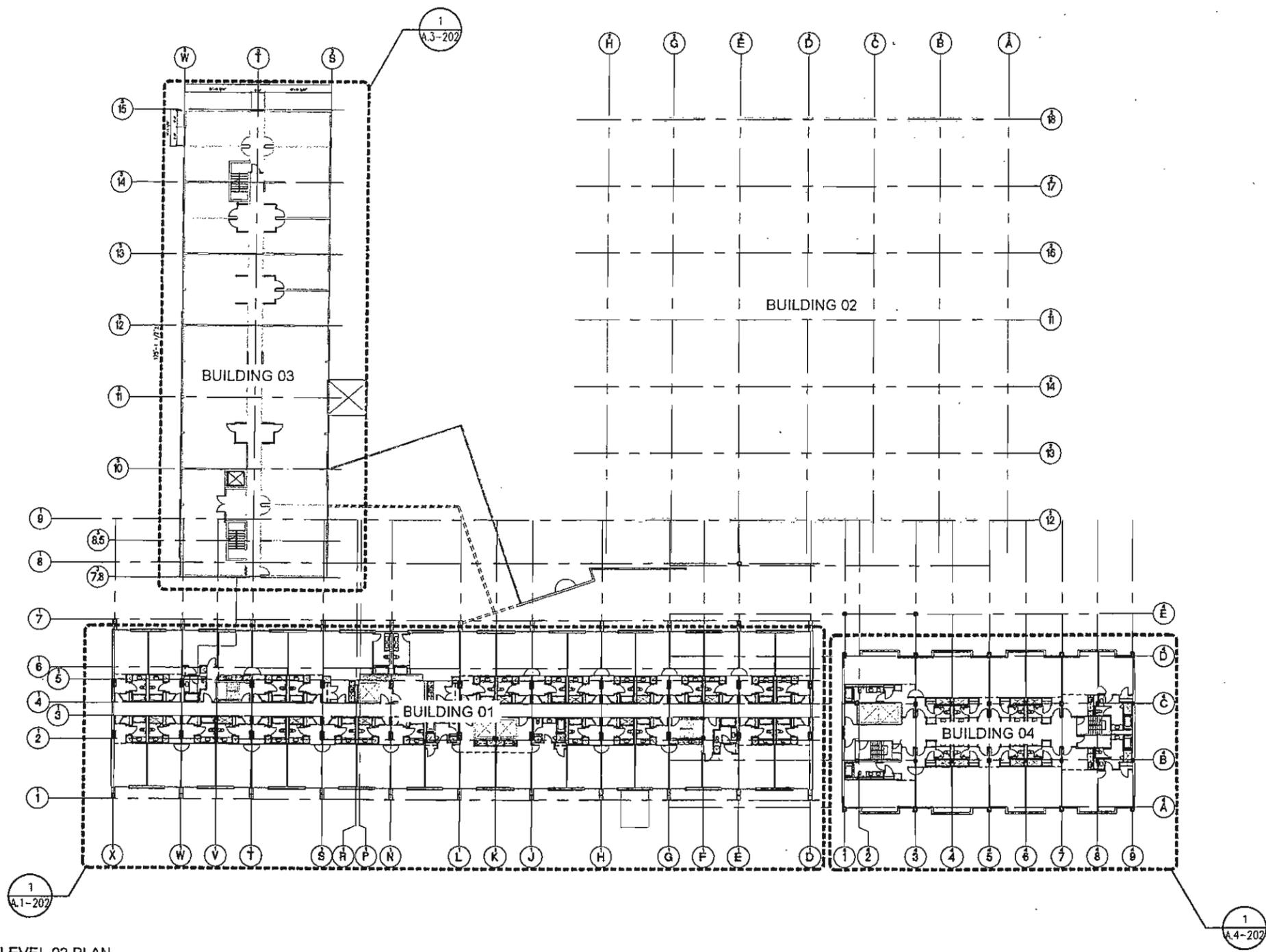


LEVEL 02 PLAN

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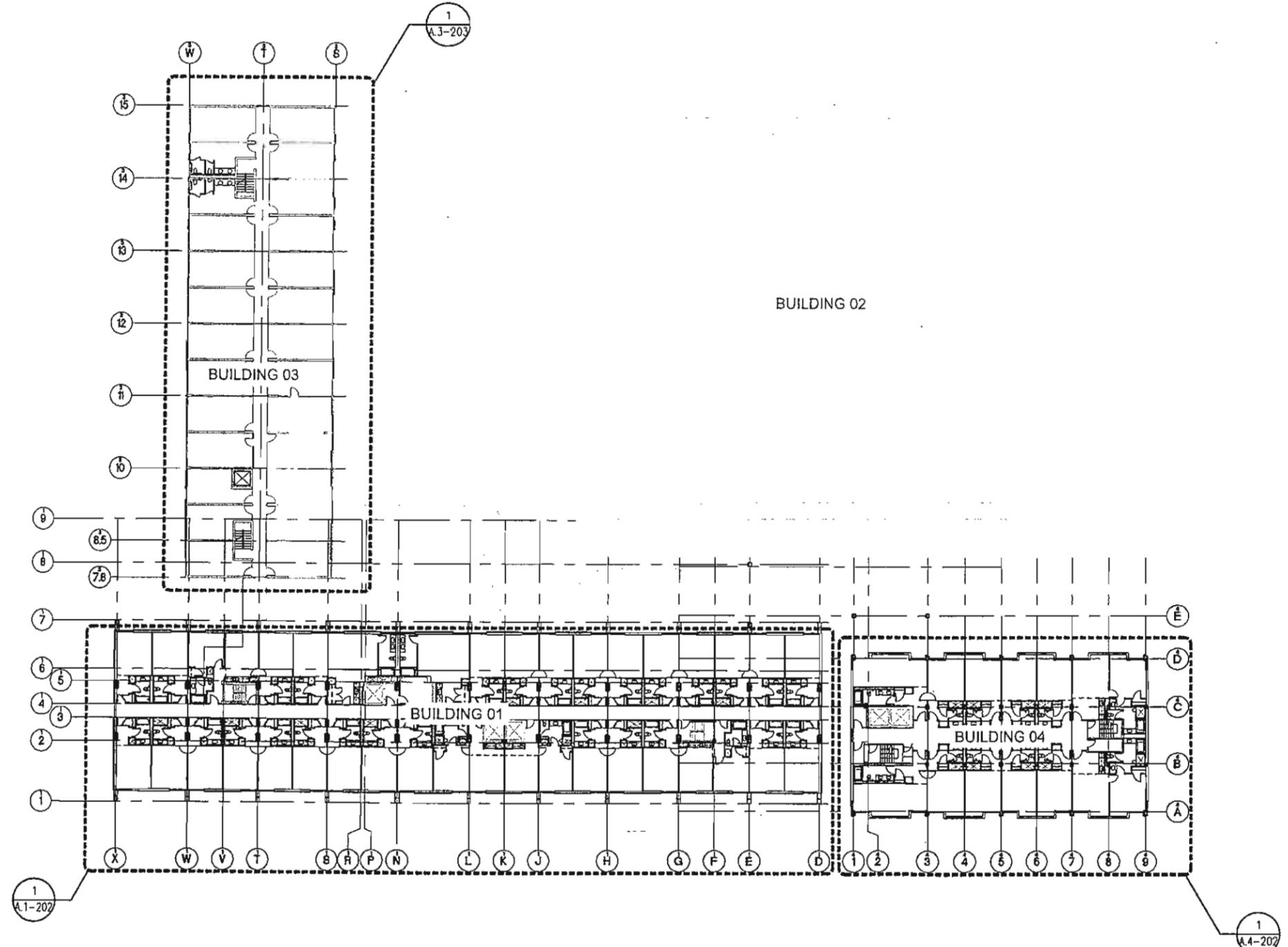
A.0-102

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1 LEVEL 02 PLAN
1/8" = 1'-0"

USDR
 PLOT SCALE
 PLOT DATE



1 LEVEL 03 PLAN
1/4" = 1'-0"

DATE: _____
SCALE: _____
USER: _____

KEY PLAN

WEISS PROPERTIES, INC.
8170 McCormick Blvd., Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD.
33 W. JACKSON #500 STE 715
CHICAGO IL 60604
312-254-0025

- Engineer 1 STRUCTURAL ENGINEER
- Engineer 2 CIVIL ENGINEER
- Engineer 3 M/E ENGINEER
- Engineer 4 EXTR. ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

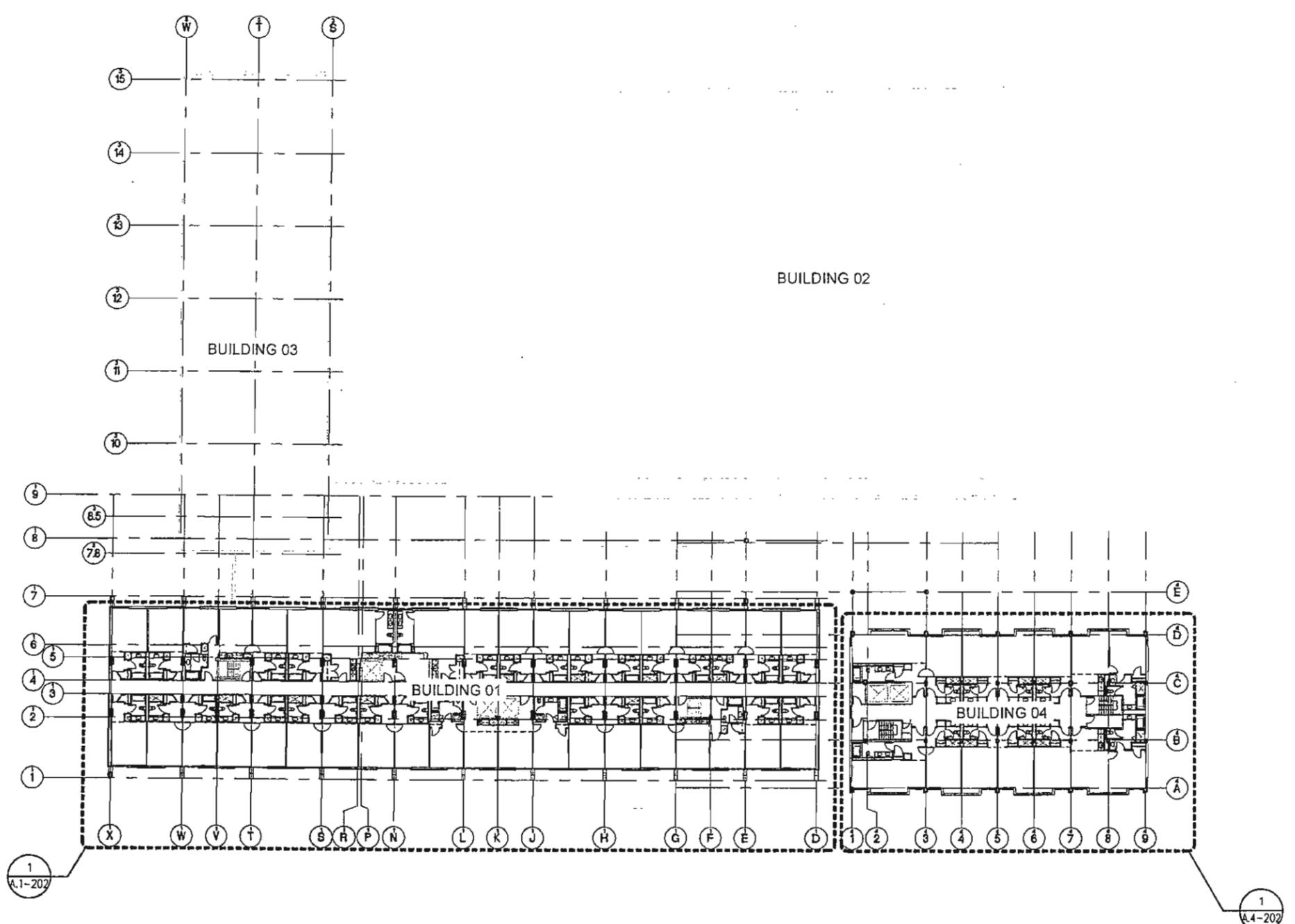
DRWN BY: _____

NORTH

0' 8' 16' 32'

LEVEL 03 PLAN

DRAWING NO.
A.0-103



1 LEVEL 04 PLAN
1/8" = 1'-0"

USER: _____
PLOT SCALE: _____
PLOT DATE: _____

KEY PLAN

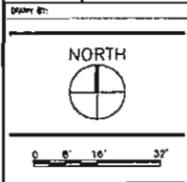
WEISS
 PROPERTIES
 WEISS PROPERTIES, INC.
 5170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076


KOO AND ASSOCIATES LTD
 5311 JACKSON BLVD STE 215
 CHICAGO, IL 60631
 312-254-0220 FAX

Engineer 1
STRUCTURAL ENGINEER
 Engineer 2
CIVIL ENGINEER
 Engineer 3
MEP ENGINEER
 Engineer 4
EXTRN ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



LEVEL 04
PLAN

DRAWING NO.
A.0-104

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

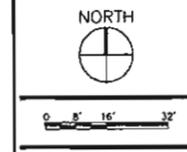
KOO AND ASSOCIATES LTD
 53 W JACKSON BLVD STE 718
 CHICAGO, ILL 60604
 312-226-0800

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN



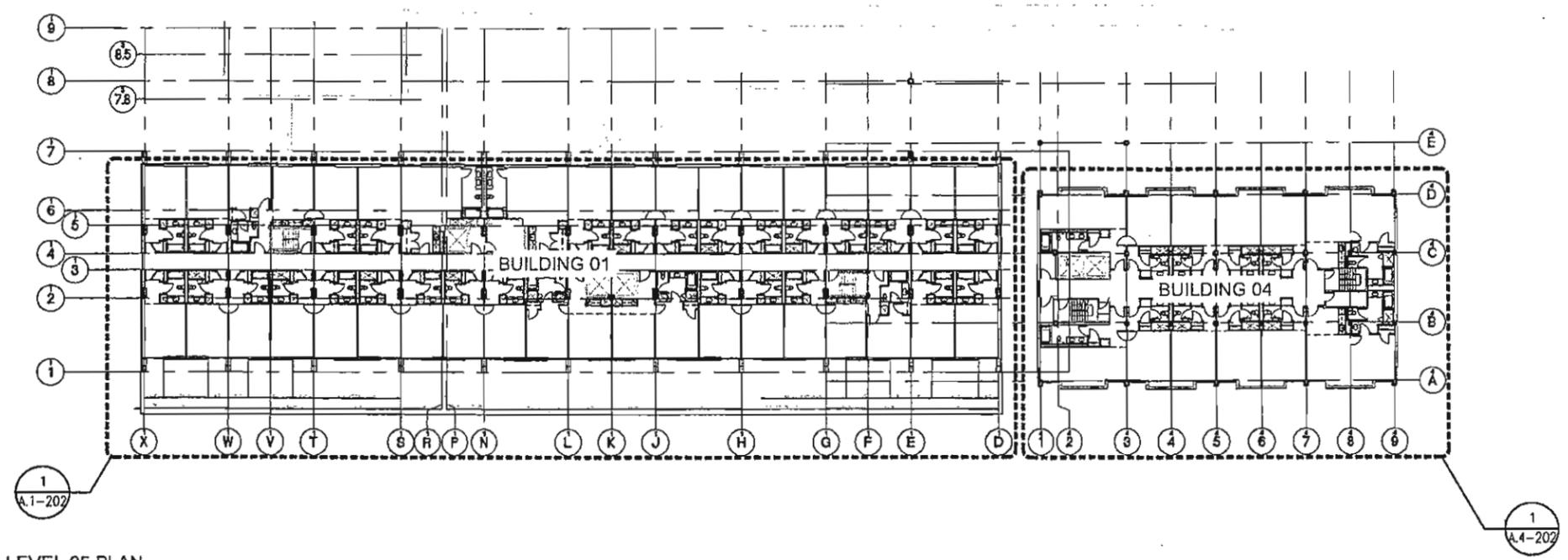
LEVEL 05
 PLAN

DRAWING NO.
A.0-105

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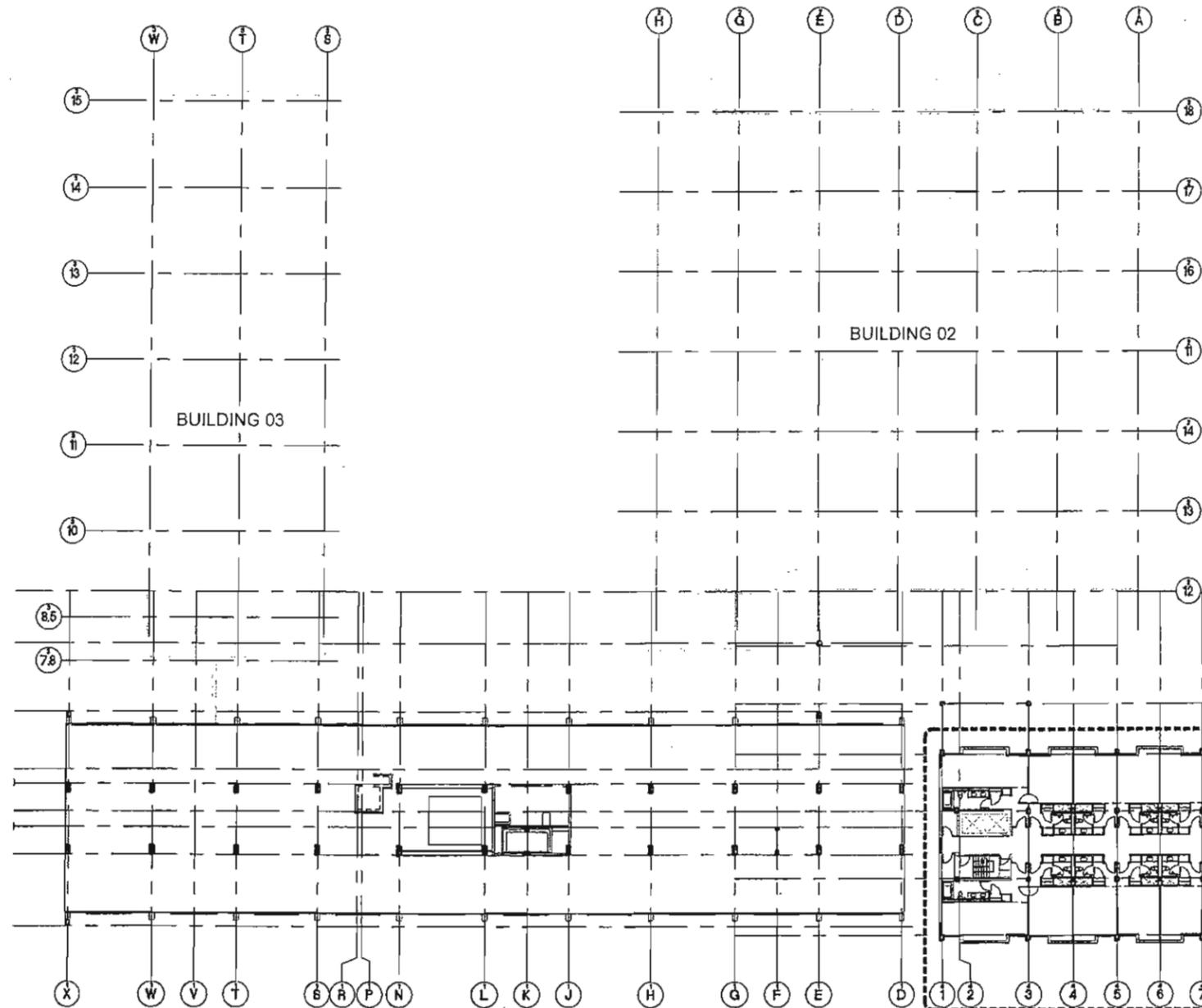
BUILDING 02

BUILDING 03



1 LEVEL 05 PLAN
 1/8" = 1'-0"

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



1 LEVEL 06 PLAN
17/6 - 1-09

SHEET NO. 1
 DATE: 1/15/09
 SCALE: AS SHOWN
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

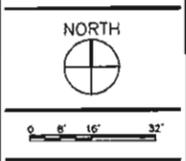
KOO AND ASSOCIATES LTD
 55 W JACKSON BLDG STE 215
 CHICAGO IL 60604
 312-735-8600 PH

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

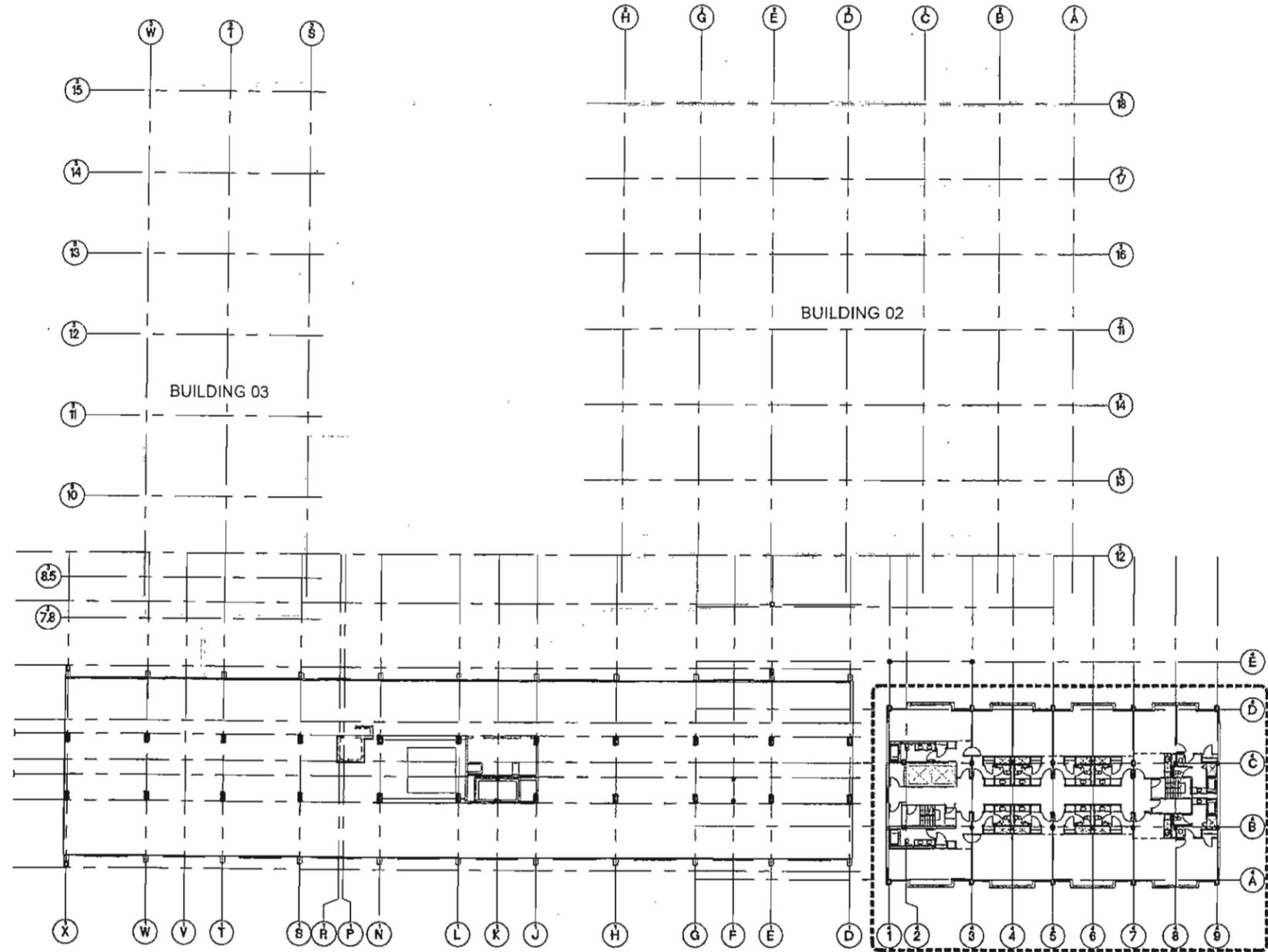
REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN



LEVEL 06 PLAN

DRAWING NO.
A.0-106



1 LEVEL 07 PLAN
1/8" = 1'-0"

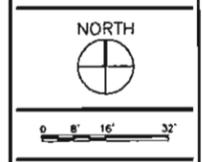
KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

ROO AND ASSOCIATES LTD.
 33 W. JACKSON BLVD STE 214
 CHICAGO, IL 60604
 312-259-0500 FAX

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MECH ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



LEVEL 07
 PLAN

DRAWING NO.
A.0-107

KEY PLAN



WEISS PROPERTIES, INC.
6170 McCormick Blvd. Suite 100
Skokie, Illinois 60076



KOO AND ASSOCIATES LTD
35 W JACKSON BLVD STE 210
CHICAGO IL 60604
312.756.0031

Engineer 1

Engineer 2

Engineer 3

Engineer 4

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DATE



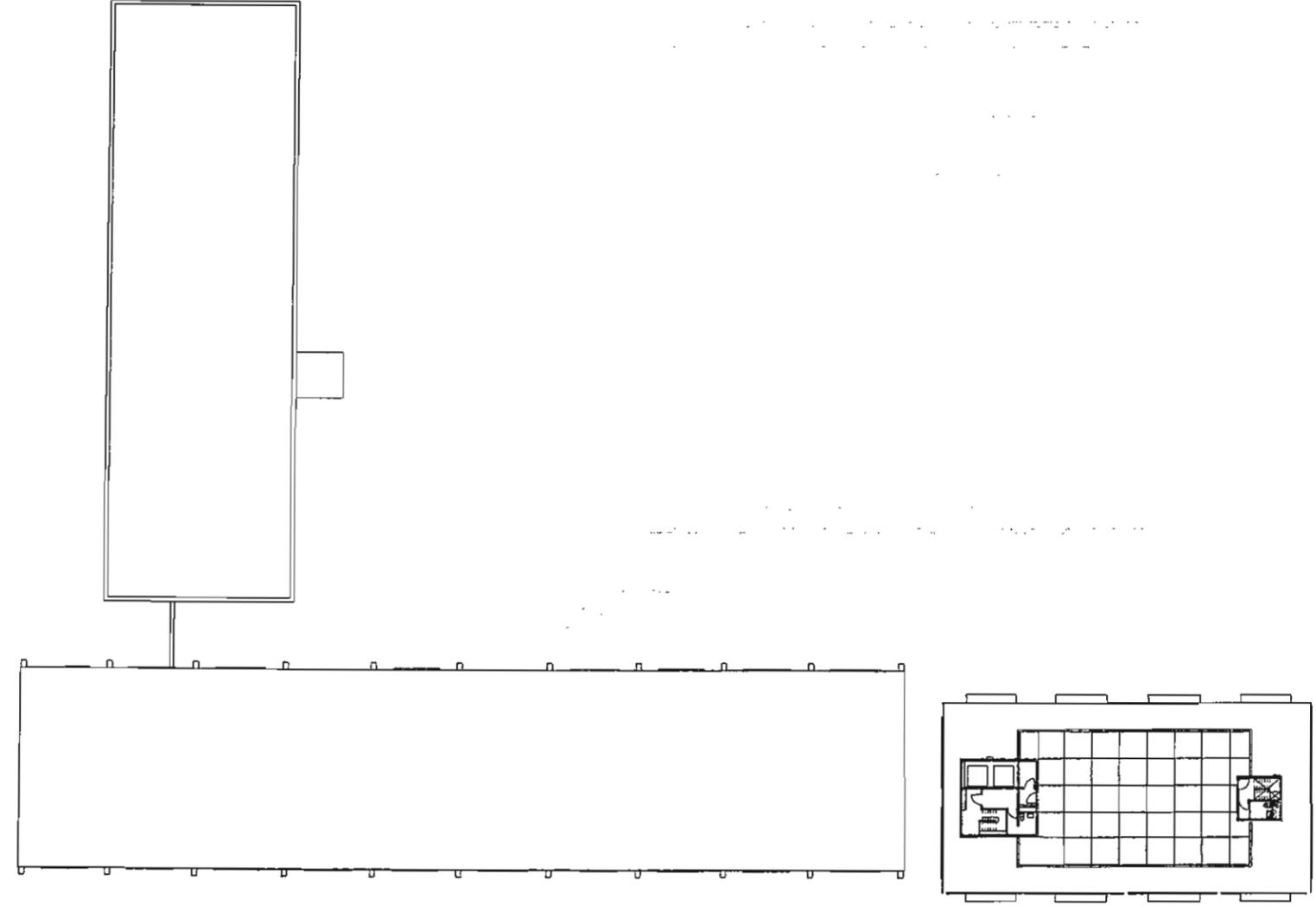
0 6' 10' 32'

ROOF PLAN

DRAWING NO.

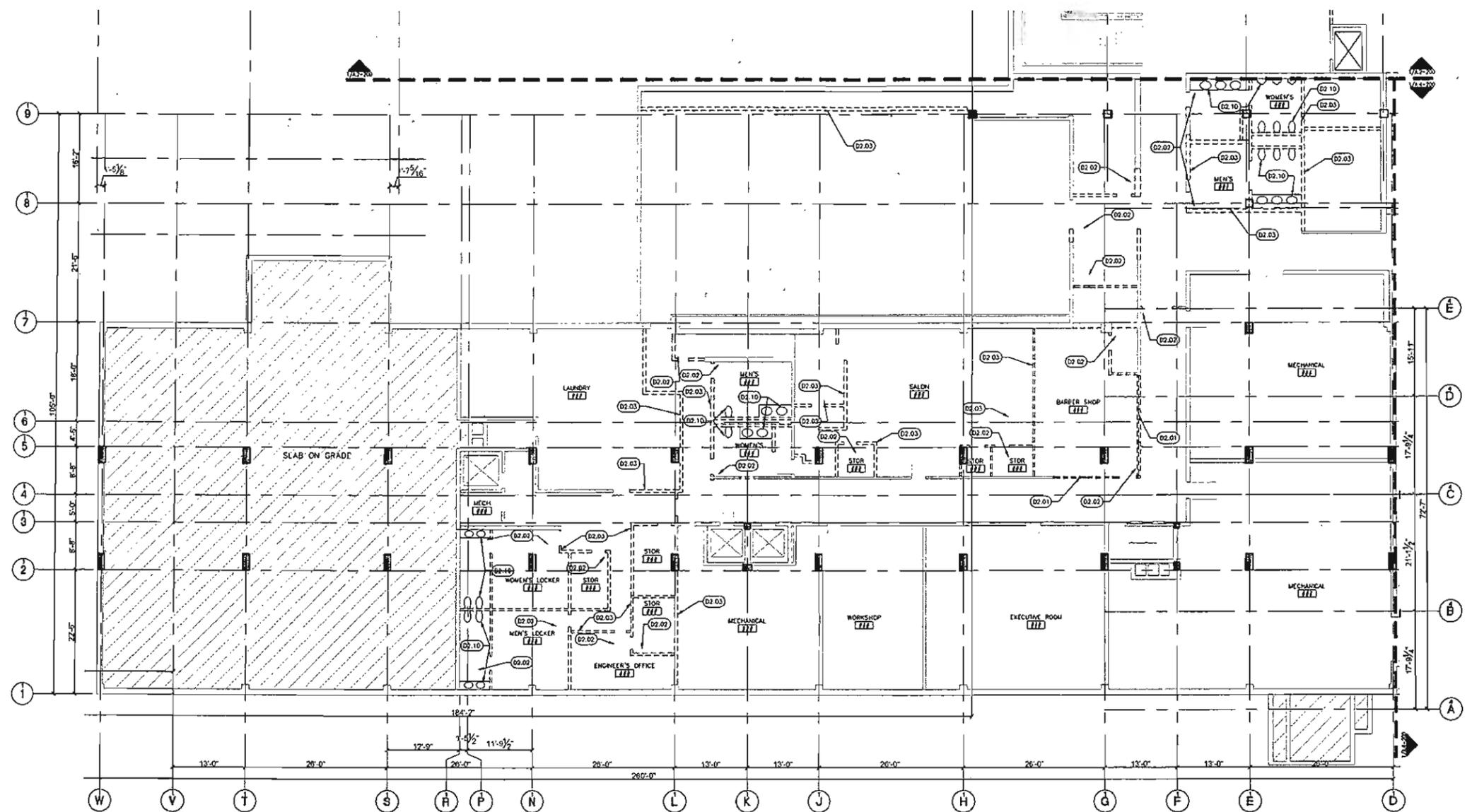
A.0-110

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1 ROOF PLAN
1/16" = 1'-0"

PLOT DATE
PLOT SCALE
USER



**BUILDING 01
LEVEL B1 DEMO PLAN**
1/8" = 1'-0"

- GENERAL NOTES**
- A. FACTOR, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
 - B. SEE AREA SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIAGRAMS.
 - C. CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - D. SEE SHEET A-001 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - E. ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
 - F. WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE BROADCASTED FINISH.
 - G. TOUCHUP ALL INTERIOR CMU PARTITIONS TO REMAIN.
 - H. NOT ALL RETRO NOTES APPEAR ON ALL SHEETS.
 - I. FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N.C.
 - J. UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REFINISH.
 - K. REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - L. REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- DEMOLITION KEYED NOTES**
- 02.01 REMOVE EXISTING STORAGE FRONT SYSTEM AND GLAZING, TYP.
 - 02.02 REMOVE EXISTING DOOR, TYP.
 - 02.03 REMOVE EXISTING PARTITION, TYP.
 - 02.04 REMOVE EXISTING MILLWORK.
 - 02.05 REMOVE EXISTING RAZED, TILE FINISHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING, TYPICAL IN RITCORN AREAS. COORDINATE CURB DEMOLITION WITH MEP SYSTEMS.
 - 02.06 LINE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED.
 - 02.07 REMOVE EXISTING STAIRS.
 - 02.08 REMOVE ELEVATED FLOOR.
 - 02.09 REMOVE EXISTING OPERABLE FOLDING PARTITION.
 - 02.10 REMOVE EXISTING FIXTURE AND ASSOCIATED PLUMBING BACK TO RISER, SEE PLUMBING DRAWINGS.
 - 02.11 REMOVE EXISTING BASECORT.
 - 02.12 REMOVE WINDOW, BLOCKING, SEALANT, FLASHING, AND PARTING, TYP. SCRAPE AND CLEAN MASONRY OPENINGS.
 - 02.13 REMOVE EXISTING SINK, COUNTER TOPS, BASE CABINETS, SUPPORT, TYP.
 - 02.14 REMOVE ALL EQUIPMENT, HANGERS, PIPING, ETC. SEE MEPPF DRAWINGS.
 - 02.15 REMOVE STAIR AND RAILINGS. SCRAPE AND CLEAN MASONRY.
 - 02.16 REMOVE FOUNDATION WALL FOR NEW SERVICE CORRIDOR.

- 02.17 DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
- 02.18 DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANOPY MEMBERS TO EXTENTS INDICATED, BACK TO ORIGINAL TWO STORY STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
- 02.19 EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN UNITS WITH SALVAGE OR NEW UNITS AND TUCK-POINT JOINTS WITH SIEGRED REPAIR MORTAR.
- 02.20 EXISTING QUARRY TILE FLOOR FINISH TO REMAIN. REPLACE BROKEN AND DAMAGED TILE AND HORIZONTAL JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN ENTIRE TILE FLOOR.
- 02.21 EXISTING CONCRETE COLUMN TO REMAIN, TYP.
- 02.22 EXISTING ELEVATOR TO REMAIN.
- 02.23 EXISTING MASONRY PARTITION STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRASS GUARD RAIL PIECES WITH INSTALLATION OF NEW GUARD RAIL.

KEY PLAN

WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

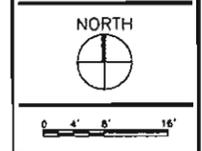
KOO AND ASSOCIATES LTD
 311 W JACKSON BLDG #7E 711
 CHICAGO, IL 60604
 312-225-0589 FX

Engineer 1 STRUCTURAL ENGINEER
Engineer 2 CIVIL ENGINEER
Engineer 3 MEP ENGINEER
Engineer 4 EXHA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

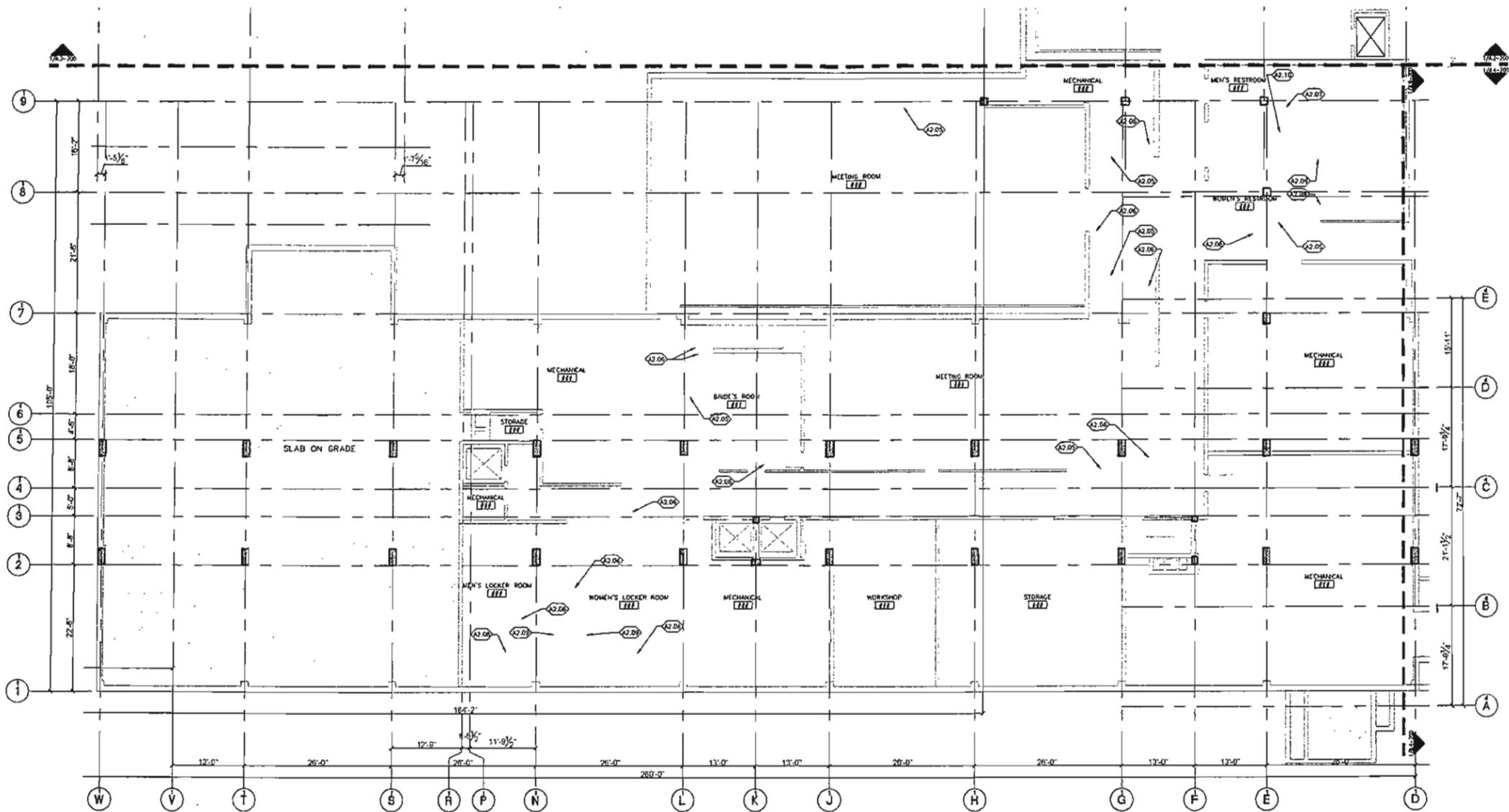
REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN



**BUILDING 01
BASEMENT
DEMO PLAN**

DRAWING NO.
AD.1-200



**BUILDING 01
LEVEL B1 PLAN**
1/8" = 1'-0"

- GENERAL NOTES**
- A. PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULES.
 - B. SEE A-M SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIAGRAMS.
 - C. CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - D. SEE SHEET A-011 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - E. ALL TRAC ARE TO BE REMOVED UNLESS NOTED OTHERWISE.
 - F. WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
 - G. TUCKPOINT ALL INTERIOR CMU PARTITIONS TO REMAIN.
 - H. NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 - I. FURNITURE SHOWING DASHED IS FOR REFERENCE QTY AND P.L.C.
 - J. UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL DRAFTING AND REFINISH.
 - K. REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - L. REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- KEYED NOTES**
- A2.01 PROVIDE PREFINISHED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS.
 - A2.02 PROVIDE GRAY GREEN PANEL WALL SYSTEM OR EQUIVALENT, SEE ELEVATION.
 - A2.03 PROVIDE STOREFRONT SYSTEM, TYP.
 - A2.04 REMOVE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE, RETURN TO FULL WORKING ORDER.
 - A2.05 PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
 - A2.06 PROVIDE DOOR AND FRAMING.
 - A2.07 PROVIDE TOILET PARTITIONS, TYP.
 - A2.08 PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CURBES AND ASSOCIATED PLUMBING.
 - A2.09 PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
 - A2.10 PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED/HARDWARED AUTOMATIC ELECTRICAL FLUSH VALVE.
 - A2.11 PROVIDE DRAINAGE FOUNTAIN AND ASSOCIATED PLUMBING.
 - A2.12 PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE. TYP.
 - A2.13 PROVIDE CMU PARTITION.
 - A2.14 PROVIDE PRECAST CONCRETE MONUMENTAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
 - A2.15 PROVIDE CAST IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
 - A2.16 ORDERING IN CAST IN PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE 2" OR EQUIV. PROFILES ON ROOF SLAB.

- A2.17 PROVIDE OPERABLE STOREFRONT SYSTEM.
- A2.18 PROVIDE OPERABLE FOLDING PARTITION WALL, HANDRAIL OR ARCHITECT APPROVED EQUAL.
- A2.19 PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
- A2.20 PROVIDE CASEY AND FRAM. SEE SHEET A-011.
- A2.21 PROVIDE CUSTOM LULLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
- A2.22 PROVIDE CUSTOM LIGHT FIXTURES, TYP.
- A2.23 PROVIDE NEW GLASS PARTITION.
- A2.24 PROVIDE HIGH-LOW FLUSH TOILET.
- A2.25 PROVIDE CUSTOM CERAMIC BATHUB W/ PORCELAIN OR STONE TILE SURROUND.
- A2.26 PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
- A2.27 PROVIDE CUSTOM LULLWORK VENTINETTE W/ STAINLESS STEEL APPLIANCE AND CUSTOM STAINLESS STEEL SHAR AND FIXTURE.
- A2.28 LINE OF GYPSUM BOARD CEILING DROP AND FINISH ABOVE.
- A2.29 EXISTING CAST-IN PLACE COLLUM TO REMAIN!
- A2.30 PROVIDE HEAT PLUMB W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
- A2.31 PROVIDE HANGING ROD AND SHELF.
- A2.32 PROVIDE PRE-ANCHORED STEEL STAIR WITH CONCRETE FALLO THREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
- A2.33 EXISTING PARTITIONS TO REMAIN.

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd., Suite 100
 Skokie, Illinois 60076

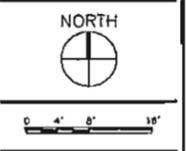
ROO AND ASSOCIATES LTD
 35 W JACKSON BLVD STE 714
 CHICAGO, IL 60604
 312-255-0200 PM

Engineer 1 **STRUCTURAL ENGINEER**
 Engineer 2 **CIVIL ENGINEER**
 Engineer 3 **MEP ENGINEER**
 Engineer 4 **EXTRA ENGINEER**

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

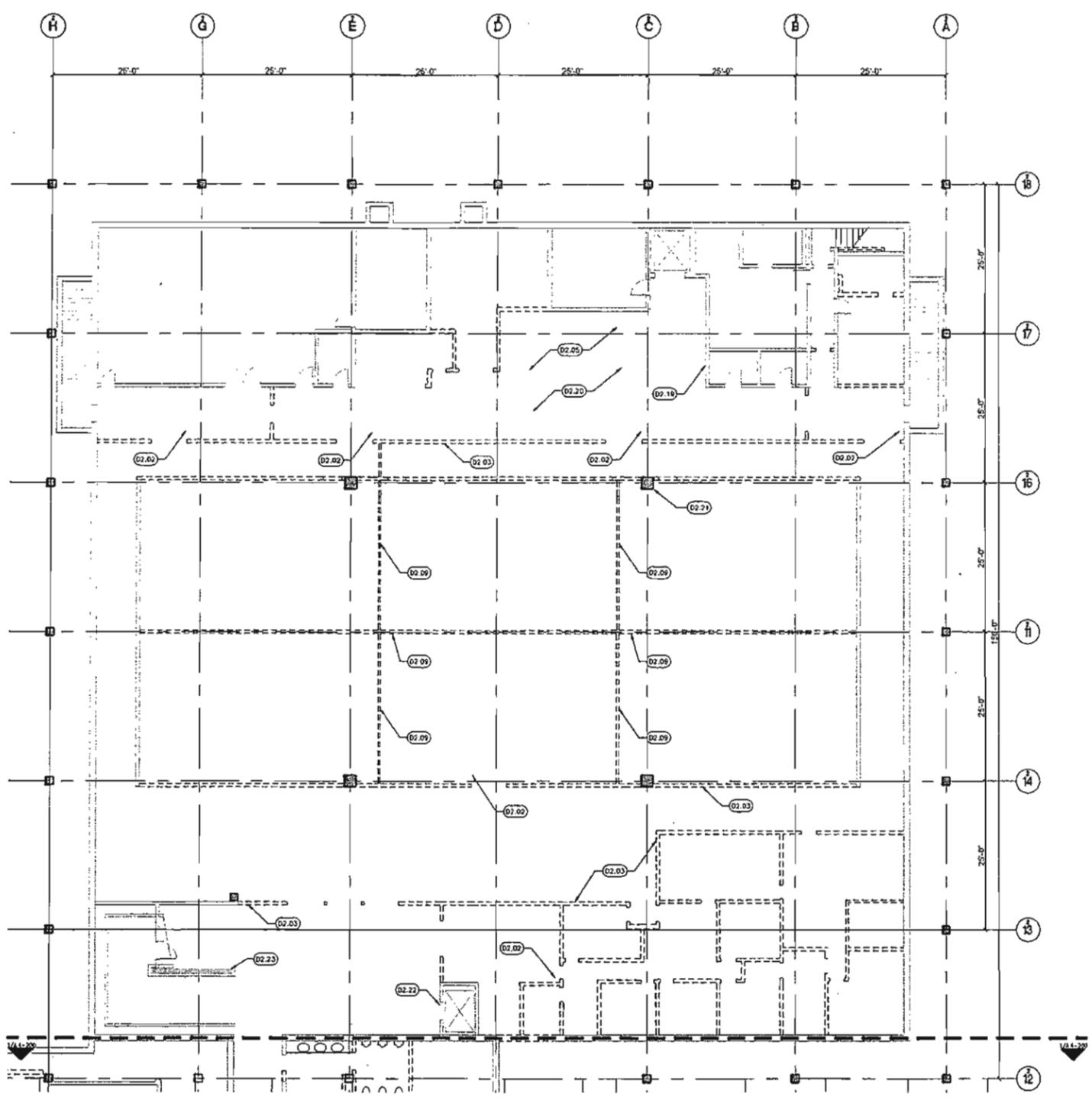


**BUILDING 01
BASEMENT
PLAN**

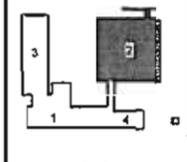
DRAWING NO.
A.1-200

GENERAL NOTES	
A	PATCH, SCRAP, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B	SEE A-BAY SERIES DRAWINGS FOR TYPICAL LIGHTING HEIGHTS AND PLAN DIAGRAMS.
C	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D	SEE SHEET A-601 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO REEVELE SCHEDULED FINISH.
G	TRUCKPOINT ALL INTERIOR GYM PARTITIONS TO REMAIN.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	FURNITURE, SHOWN DASHED IS FOR REFERENCE ONLY AND N.C.
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAPPHIT AND REFINISH.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

DEMOLITION KEYED NOTES	
D2 01	REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING, TYP.
D2 02	REMOVE EXISTING DOOR, TYP.
D2 03	REMOVE EXISTING PARTITION, TYP.
D2 04	REMOVE EXISTING MULLION.
D2 05	REMOVE EXISTING RAISED, TILE FINISHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR. PATCH TO MATCH SURROUNDING TYPICAL PARTITION AREAS. COORDINATE CURB DEMOLITION WITH MECHANICAL SYSTEMS.
D2 06	LINE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED.
D2 07	REMOVE EXISTING STAIRS.
D2 08	REMOVE ELEVATED FLOOR.
D2 09	REMOVE EXISTING OPERABLE GLAZING PARTITION.
D2 10	REMOVE EXISTING FURNITURE AND ASSOCIATED PLUMBING BACK TO RISER. SEE PLUMBING DRAWINGS.
D2 11	REMOVE EXISTING MASONRY.
D2 12	REMOVE EXISTING EPOXY RESIN FLOORING AND MASONRY, TYP. REPAIR AND CLEAN UP BY OPENING.
D2 13	REMOVE EXISTING 3" COUNTER TOP, BASE CABSIN & SINK, TYP.
D2 14	REMOVE ALL EQUIPMENT HANGERS PER P&ID. SEE MEP-SP DRAWINGS.
D2 15	REMOVE STAIR AND RAILING SCRAPE AND CLEAN MASONRY.
D2 16	REMOVE FOUNDATION WALL FOR EXISTING CORRIDOR.
D2 17	DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO LEAVE FINISHED BACK TO ORIGINAL FLOOR STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL ELEVATION DRAWINGS.
D2 18	REMOVE EXISTING EXTERIOR WALLS AND GALVANIZED STEEL RAILING AND GYMNASIUM DECKING TO EXISTING DECKING BACK TO ORIGINAL FLOOR STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL ELEVATION DRAWINGS.
D2 19	REMOVE EXISTING BLOCK PARTITIONS TO REVEAL REPAIRS. REMOVE EXISTING 1/2" GYPSUM BOARD ON NEW WALLE AND TUCK POINT JOINTS WITH SCHEDULED REPAIRS. REPAIR.
D2 20	EXISTING GYMNASIUM FLOOR FINISH TO REMAIN. REMOVE WOOD FLOORING AND BASEBOARD AS SHOWN WITH PATCH MATERIALS AS SCHEDULED. CLEAN ENTIRE FLOOR.
D2 21	EXISTING CONCRETE COLUMNS TO REMAIN, TYP.
D2 22	EXISTING ELEVATOR TO REMAIN.
D2 23	EXISTING MECHANICAL STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY PENETRATION OF EXISTING ROOF GROUND RAIL PERMIT WITH INSTALLATION OF NEW GROUND RAIL.



**BUILDING 02
LEVEL B1 DEMO PLAN**
1
1/8" = 1'-0"



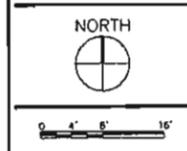
WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd., Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
8311 JACKSON BLVD STE 215
CHICAGO, ILL 60631

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

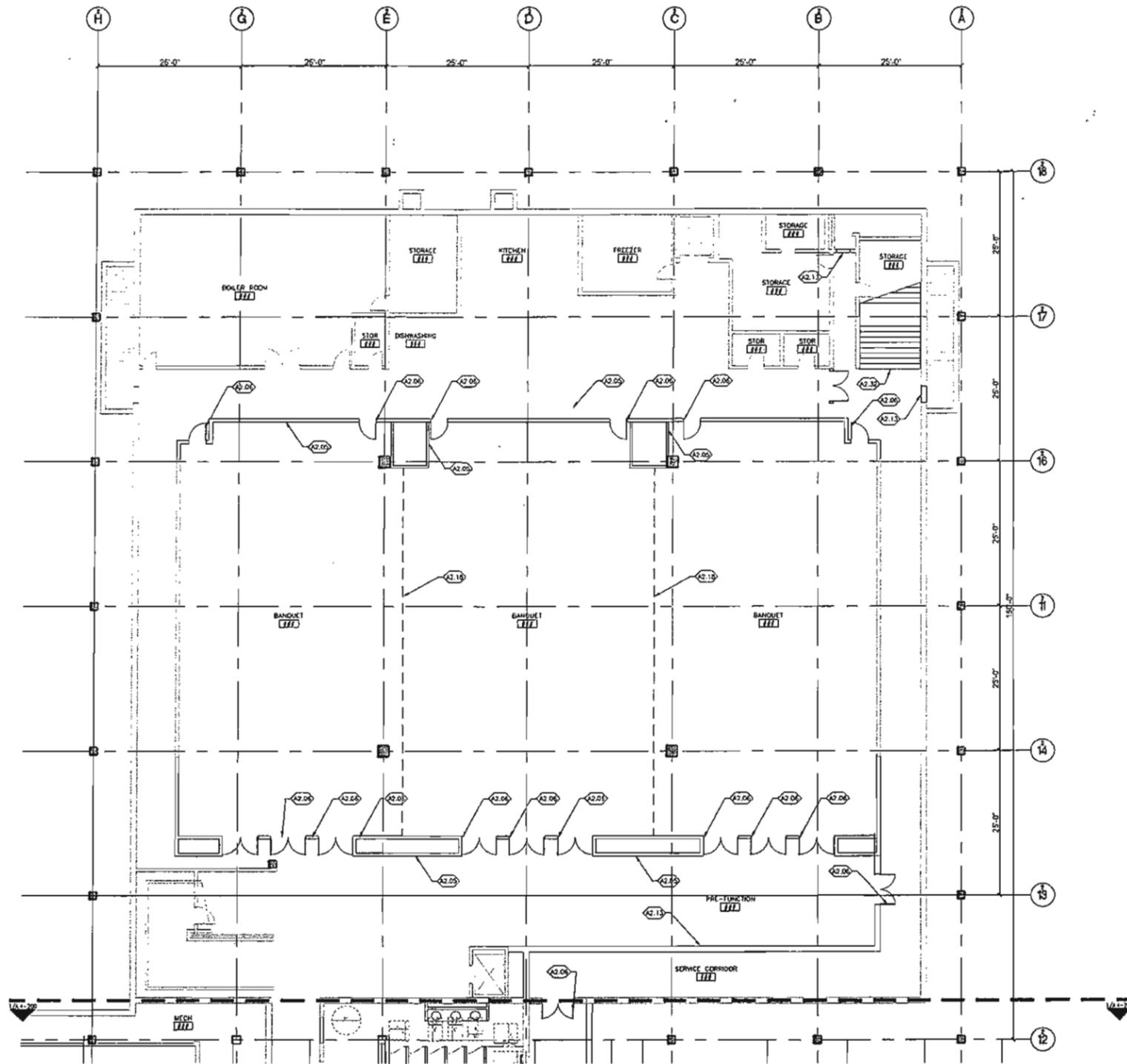


**BUILDING 02
BASEMENT
DEMO PLAN**

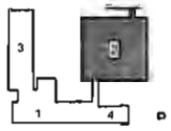
DRAWING NO.
AD.2-200

GENERAL NOTES	
A	PATCH SCRAPS, PATCH PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B	SEE A-200 SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIAGRAMS.
C	CENTER LIGHTS IN ROOMS UNLESS OTHERWISE NOTED.
D	SEE SHEET A-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE REFINISHED UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	TRUCKPOINT ALL INTERIOR GYM BOARD PARTITIONS TO REMAIN.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N.L.C.
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GYPSUM BOARD/REFINISH.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAGMENTS.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

KEYED NOTES	
A2.01	PROVIDE PREFINISHED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS (EQUIVALENT SEE ELEVATION).
A2.02	PROVIDE STOREFRONT SYSTEM, TYP.
A2.04	RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLASS AND HARDWARE. RETURN TO FULL WORKING ORDER.
A2.05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
A2.06	PROVIDE DOOR AND FRAME.
A2.07	PROVIDE TOILET PARTITION, TYP.
A2.08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POSITIONED HANDWIRED AUTOMATIC ELECTRIC FLUSH VALVE.
A2.11	PROVIDE DRAINING FOUNTAINS AND ASSOCIATED PLUMBING.
A2.12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
A2.13	PROVIDE GYM PARTITION.
A2.14	PROVIDE PRECAST CONCRETE MONUMENTAL STAIR OR PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
A2.15	PROVIDE CAST IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
A2.16	OPENING IN CAST IN PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TWO OR MORE HOOPING ON ROOF SLAB.
A2.17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2.18	PROVIDE OPERABLE, FOLDING PARTITION WALL, MANUAL OR ELECTRIC. MEET APPROVED EQUAL.
A2.19	PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
A2.20	PROVIDE CARPET AND PAD, SEE SHEET A-201.
A2.21	PROVIDE CUSTOM MILLWORK VANITY TO CUSTOM LAVATORY AND FAUCET.
A2.22	PROVIDE CUSTOM SINK FEATURES, TYP.
A2.23	PROVIDE NEW GLASS PARTITION.
A2.24	PROVIDE HIGH QUALITY URINAL TOILET.
A2.25	PROVIDE CUSTOM CERAMIC BATH TUB IN PORCELAIN OR STONE TILE SURROUND.
A2.26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE IN CUSTOM FITTURE AND GLASS DOOR AND OR WALL.
A2.27	PROVIDE CUSTOM MILLWORK KITCHENETTE IN STAINLESS STEEL. APPLIANCE AND CUSTOM STAINLESS STEEL SINK AND FITTURE.
A2.28	LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
A2.29	EXISTING CAST IN PLACE COLUMN TO REMAIN.
A2.30	FRANGE HEAT PUMP FC WALL RETURN, SEE MECHANICAL DRAWINGS.
A2.31	PROVIDE HANGING ROD AND SHELF.
A2.32	PROVIDE PRE ASSEMBLED STEEL STAIR WITH CONCRETE FILL ED TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
A2.33	EXISTING PARTITIONS TO REMAIN.



**BUILDING 02
LEVEL B1 PLAN**
1/8" = 1'-0"



KEY PLAN

WEISS
PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

ROO AND ASSOCIATES LTD
3511 JACKSON BLVD STE 215
CHICAGO, ILLINOIS
312-238-0200

Engineer 1
STRUCTURAL ENGINEER

Engineer 2
CIVIL ENGINEER

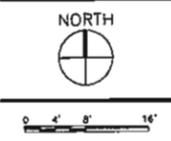
Engineer 3
MEP ENGINEER

Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

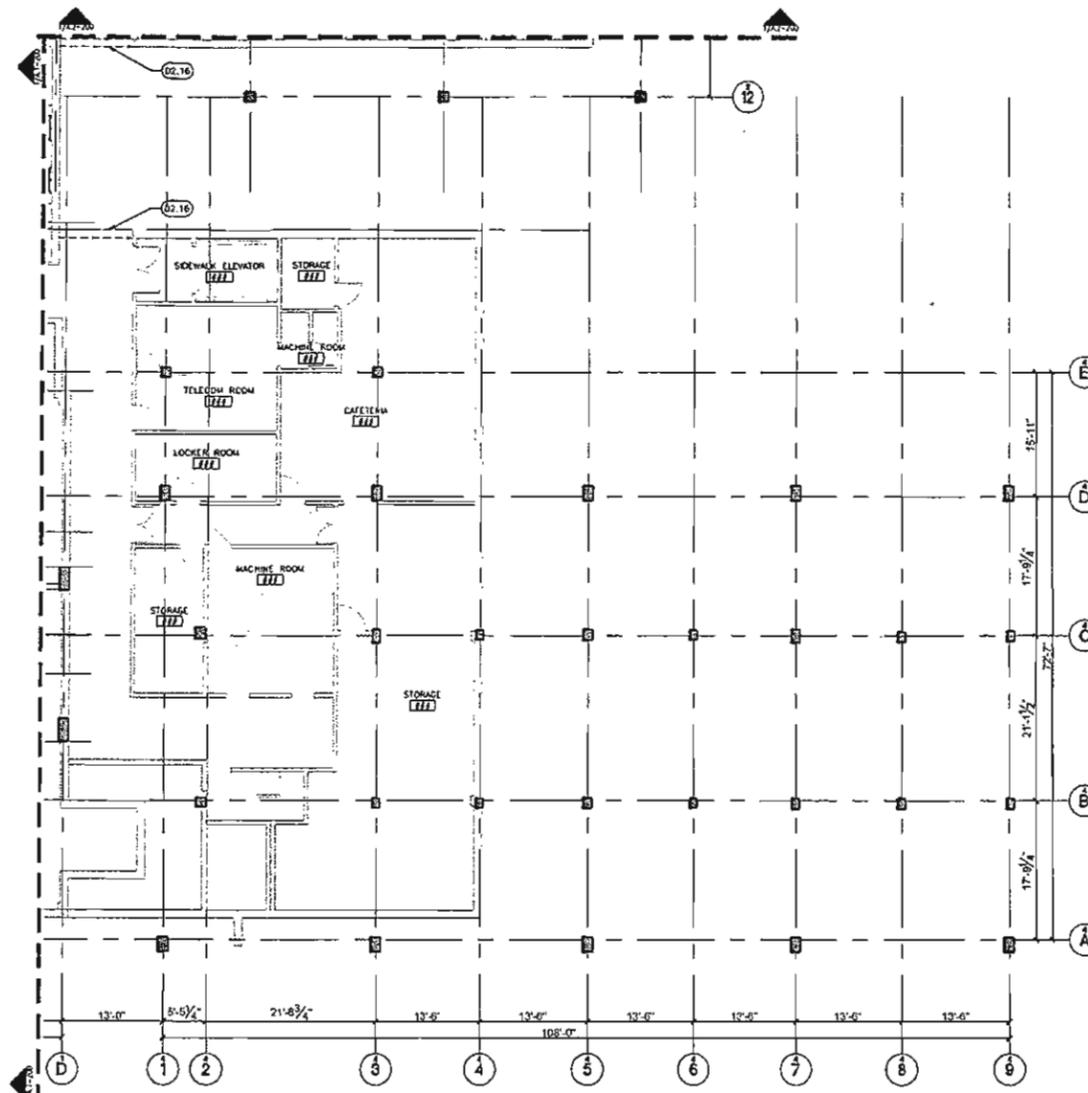


**BUILDING 02
BASEMENT
PLAN**

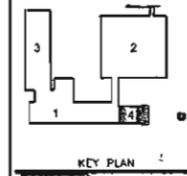
DRAWING NO.
A.2-200

GENERAL NOTES	
A.	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN, SEE ROOF FRESH SCHEDULE
B.	SEE A-MEM SERIES DRAWINGS FOR TYPICAL BUILDING HEIGHTS AND PLAN DIAGRAMS
C.	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED
D.	SEE SHEET 6-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES
E.	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE
F.	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO REVEAL SCHEDULED FINISH
G.	TUCKPOINT ALL INTERIOR CHAM PARTITIONS TO REMAIN
H.	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I.	FURNITURE SHOWN DASHED FOR REFERENCE ONLY AND N.I.C.
J.	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL BRACKET AND REFINISH
K.	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING
L.	REMOVE ALL FLOOR FINISHES, ASSOCIATED MOLDING AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

DEMOLITION KEYED NOTES	
D2 21	REMOVE EXISTING STOREFRONT EYELET AND GLAZING, TYP.
D2 22	REMOVE EXISTING DOOR, TYP.
D2 23	REMOVE EXISTING PARTITION, TYP.
D2 24	REMOVE EXISTING MILLWORK
D2 25	REMOVE EXISTING RAISED, TILE FINISHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING TYPICAL FINISH AREAS. COORDINATE CURB DEMOLITION WITH HERShey SYSTEMS.
D2 26	LINE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED.
D2 27	REMOVE EXISTING STAIRS
D2 28	REMOVE ELEVATED FLOOR
D2 29	REMOVE EXISTING OPERABLE FOLDING PARTITION
D2 10	REMOVE EXISTING FUTURE AND ASSOCIATED PLUMBING BACK TO RISER, SEE PLUMBING DRAWINGS.
D2 11	REMOVE EXISTING MASONRY
D2 17	REMOVE WINDOW, BLOCKING, SEALANT, FLASHING, AND PLAYING, TYP. EQUIPE AND CLEAN MASONRY OPENINGS
D2 13	REMOVE EXISTING SINK, COUNTER TOPS, BASE CABSINETS SUPPORT, TYP.
D2 14	REMOVE ALL EQUIPMENT, HANGERS, PIPING, ETC. SEE MEPFP DRAWINGS
D2 15	REMOVE STAIR AND RAILINGS. SCRAPE AND CLEAN MASONRY
D2 16	REMOVE FOUNDATION WALL FOR NEW SERVICE CORRIDOR
D2 17	DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS
D2 18	DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANOPY MEMBERS TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS
D2 19	EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN UNITS WITH SALVAGE OR NEW UNITS AND TUCK POINT JOINTS WITH SPECIFIED REPAIR MORTAR
D2 20	EXISTING QUARRY TILE FLOOR FINISH TO REMAIN. REPLACE BROKEN AND DAMAGED TILE AND MORTAR JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN ENTIRE TILE FLOOR
D2 21	EXISTING CONCRETE COLUMN TO REMAIN, TYP.
D2 22	EXISTING ELEVATOR TO REMAIN.
D2 23	EXISTING LOCKER/STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRASS GUARD RAIL PIECES WITH INSTALLATION OF NEW GUARD RAIL



**BUILDING 04
LEVEL B1 DEMO PLAN**
1/8" = 1'-0"



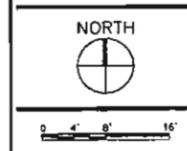
WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, IL 60076

KOO AND ASSOCIATES LTD
33 N JACKSON RD STE 215
CHICAGO IL 60604
312.251.6500

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



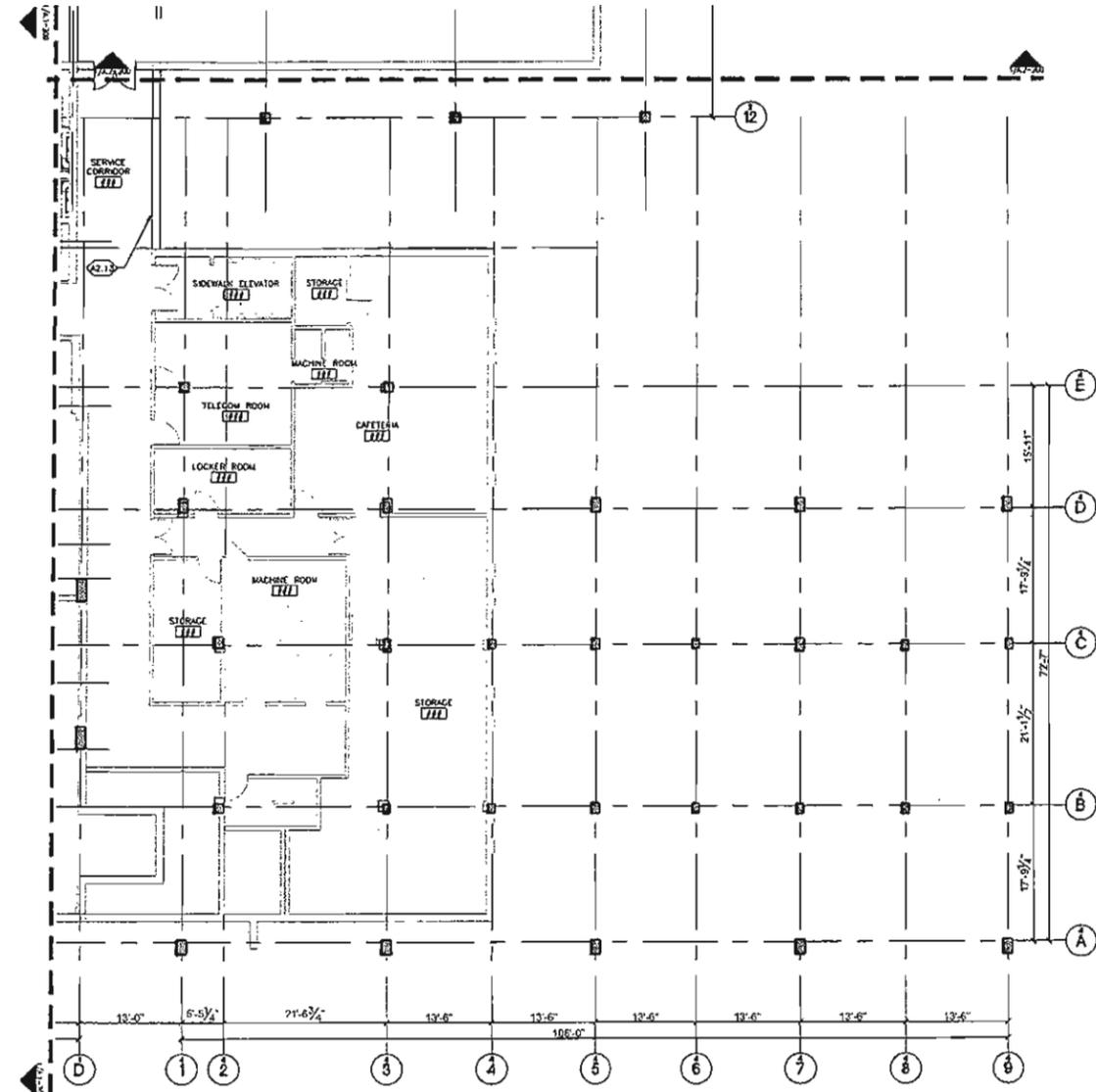
**BUILDING 04
LOWER LEVEL
DEMO PLAN**

DRAWING NO.
AD.4-200

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____

GENERAL NOTES	
A	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B	SEE A-400 SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLUMBINGS.
C	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D	SEE SHEET A-501 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	TYPICALLY ALL INTERIOR CMU PARTITIONS TO REMAIN.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND I.L.C.
J	UNLESS SPECIFICALLY INDICATED, TYPICAL FINISHES ARE TO REMAIN. REMOVE ALL GRANITE AND REFRESH.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FINISHING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

KEYED NOTES	
A2.01	PROVIDE PREFINISHED ALUMINUM ENTRANCE CANNOPY AND PAINTED GALVANIZED STEEL HANGERS.
A2.02	PROVIDE GGY GREEN PAINT WALL SYSTEM OR EQUIVALENT. SEE ELEVATION.
A2.03	PROVIDE STOREFRONT SYSTEM, TYP.
A2.04	RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL WORKING ORDER.
A2.05	PROVIDE PAINTED GYPSUM BOARD PARTITION TYP.
A2.06	PROVIDE DOOR AND FRAME.
A2.07	PROVIDE TOILET PARTITIONS, TYP.
A2.08	PROVIDE LAVATORY, TYP. SEE ALIGNMENT FOR CARRIER AND ASSOCIATED PLUMBING.
A2.09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED/HARDWIRED AUTOMATIC ELECTRICAL FLUSH VALVE.
A2.11	PROVIDE COUNTERSINK FOUNTAINS AND ASSOCIATED PLUMBING.
A2.12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
A2.13	PROVIDE CMU PARTITION.
A2.14	PROVIDE PRECAST CONCRETE MONUMENTAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL COLUMNS AND HANDRAILS.
A2.15	PROVIDE CAST-IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM OPTION.
A2.16	OPENING BY CAST-IN PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TPO OR EPDM ROOFING ON ROOF SLAB.
A2.17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2.18	PROVIDE OPERABLE GLAZING PARTITION WALL, HANGERS OR ARCHITECT APPROVED EQUAL.
A2.19	PROVIDE NEW LIGHT-GRADE METAL FRAMED GYPSUM BOARD PARTITION.
A2.20	PROVIDE CARPET AND PAD. SEE SHEET A-501.
A2.21	PROVIDE CUSTOM MILLWORK VARIETY W/ CUSTOM LAVATORY AND FAUCET.
A2.22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2.23	PROVIDE NEW GLASS PARTITION.
A2.24	PROVIDE HIGH-LOW FLUSH TOILET.
A2.25	PROVIDE CUSTOM CERAMIC BATHING W/ PORCELAIN OR STONE TILE BATHING.
A2.26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
A2.27	PROVIDE CUSTOM MILLWORK KITCHENETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2.28	LIKE OR EQUIVALENT BOARD CEILING DROP AND FINISHING ABOVE.
A2.29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2.30	PROVIDE HEAT PUMP W/ WALL RETURN. SEE MECHANICAL DRAWINGS.
A2.31	PROVIDE HANGING ROD AND SHELF.
A2.32	PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CONCRETE FILL TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
A2.33	EXISTING PARTITIONS TO REMAIN.



BUILDING 04
LEVEL B1 PLAN
1
1/8" = 1'-0"

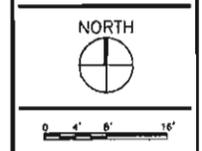
KEY PLAN
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD.
3311 JACKSON BLVD STE 215
CHICAGO IL 60654
312-226-0900

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXCRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

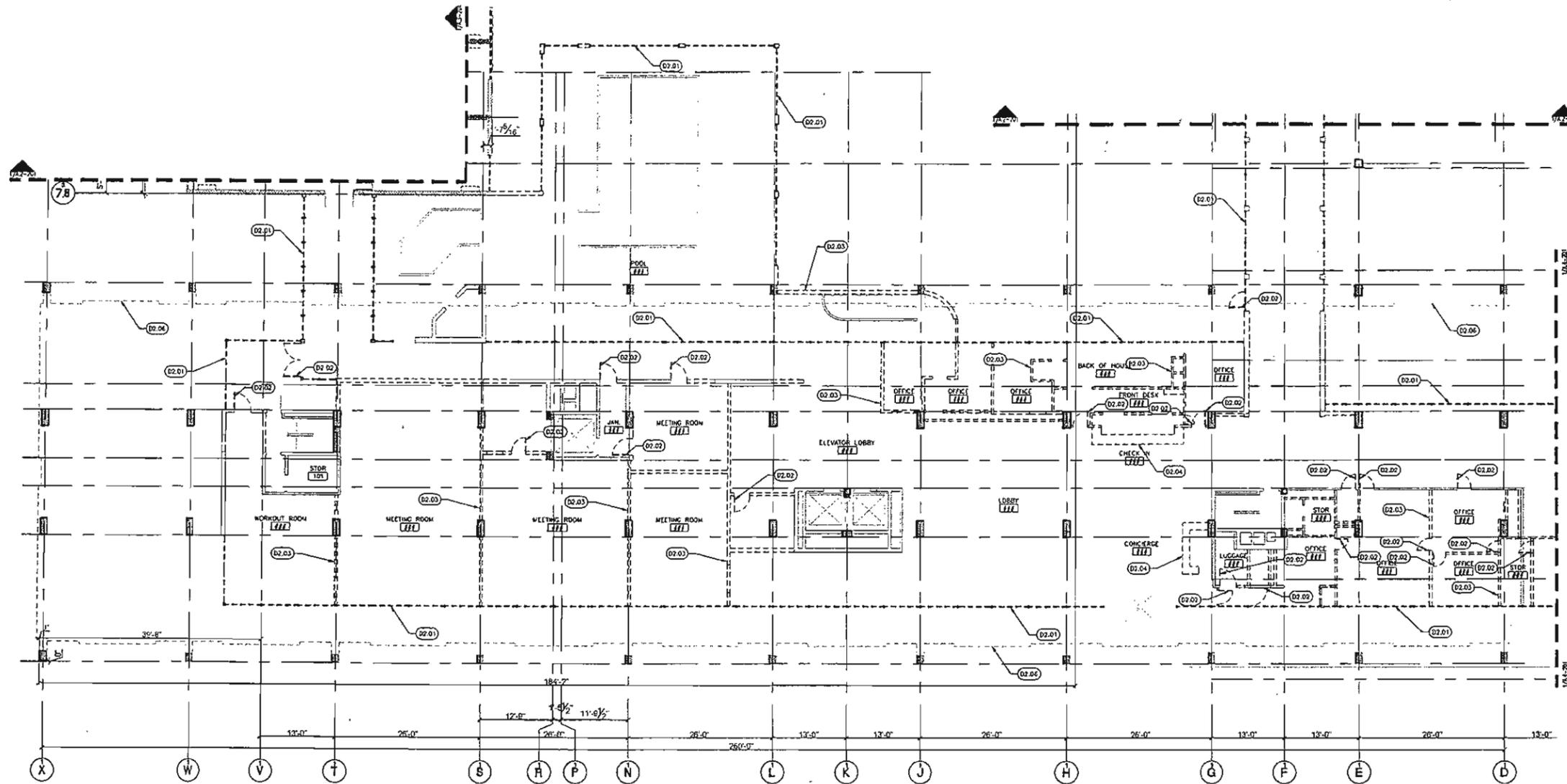
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



BUILDING 04
BASEMENT
PLAN

DRAWING NO.
A.4-200

DATE: _____
SCALE: _____
DATE: _____



1 BUILDING 01
LEVEL 01 DEMO PLAN
1/8" = 1'-0"

- GENERAL NOTES**
- A. PATCH, REPAIR, PRIME, PAINT ALL EXISTING WALLS TO REMAIN SEE ROOM FINISH SCHEDULE
 - B. SEE A-FIN SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIMENSIONS
 - C. CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - D. SEE SHEET A-201 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - E. ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE
 - F. WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH
 - G. TUCKPOINT ALL INTERIOR CHAM PARTITIONS TO REMAIN.
 - H. NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 - I. FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND I.L.C. UNLESS SPECIFICALLY INDICATED. WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REFINISH
 - J. REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - K. REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- DEMOLITION KEYED NOTES**
- D2.01 REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING, TYP.
 - D2.02 REMOVE EXISTING DOOR, TYP.
 - D2.03 REMOVE EXISTING PARTITION, TYP.
 - D2.04 REMOVE EXISTING LELLSWORK
 - D2.05 REMOVE EXISTING RAISED, TILE FINISHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING, TYPICAL IN SETBACK AREAS. COORDINATE CURB DEMOLITION WITH EXISTING UTIL.
 - D2.06 LINE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED
 - D2.07 REMOVE EXISTING STAIRS
 - D2.08 REMOVE ELEVATED FLOOR
 - D2.09 REMOVE EXISTING OPERABLE FOLDING PARTITION
 - D2.10 REMOVE EXISTING POTURE AND ASSOCIATED PLUMBING BACK TO RISER, SEE PLUMBING DRAWINGS
 - D2.11 REMOVE EXISTING MASONRY
 - D2.12 REMOVE WINDOW, BLOCKING, SEALANT, FLASHING, AND FINISHING, TYP. SCRAPE AND CLEAN MASONRY OPENINGS
 - D2.13 REMOVE EXISTING SMK. COUPLER TOPS, BASE CABINET & SUPPORT, TYP.
 - D2.14 REMOVE ALL EQUIPMENT, HANGERS, PIPING, ETC. SEE MEPPF DRAWINGS

- D2.15 REMOVE STAIR AND RAILINGS. SCRAPE AND CLEAN MASONRY
- D2.16 REMOVE FOUNDATION WALL FOR REST SERVICE CORRIDOR
- D2.17 DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL 1960'S STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
- D2.18 DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANTON MEMBERS TO EXTENTS INDICATED. BACK TO ORIGINAL 1960'S STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
- D2.19 EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN PARTS WITH GALVALUME OR NEW UNITS AND TUCK-POINT JOINTS WITH SPECIFIED REPAIR MORTAR.
- D2.20 EXISTING QUARRY TILE FLOOR FINISH TO REMAIN. REPLACE BROKEN AND DAMAGED TILE AND MORTAR JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN ENTIRE TILE FLOOR.
- D2.21 EXISTING CONCRETE COLUMN TO REMAIN, TYP.
- D2.22 EXISTING ELEVATOR TO REMAIN
- D2.23 EXISTING MONUMENTAL STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRASS GUARD RAIL PIECES WITH INSTALLATION OF NEW GUARD RAIL.

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd. Suite 100
 Skokie, Illinois 60076

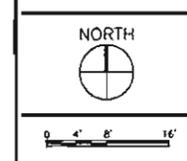
100 AND ASSOCIATES LTD.
 53 W. JACKSON BLVD. STE 218
 CHICAGO, IL 60604
 312-220-0271

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

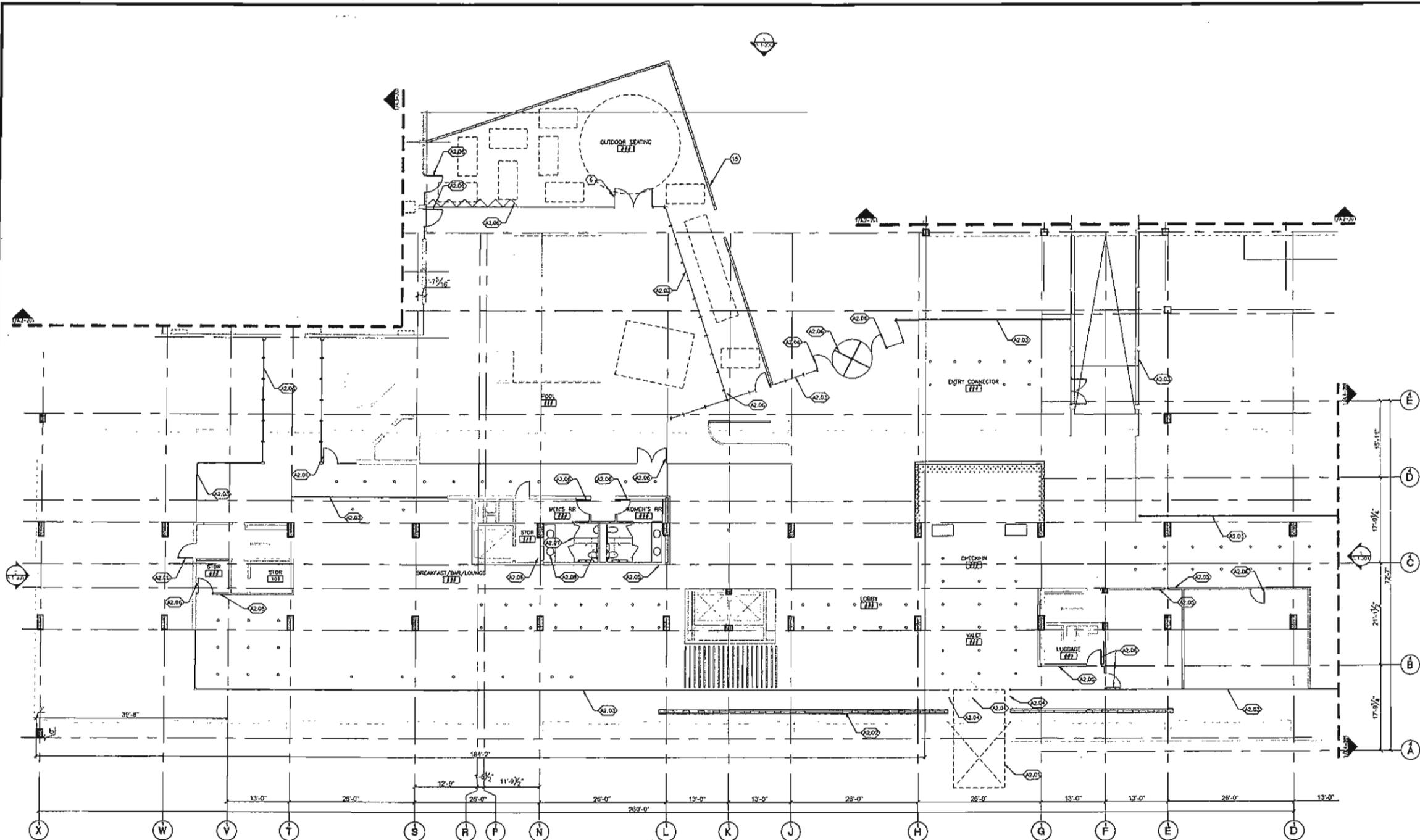


BUILDING 1
 LEVEL 01
 DEMO PLAN

DRAWING NO.

AD.1-201

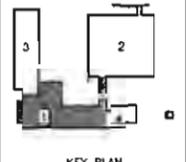
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**BUILDING 01
1 LEVEL 01 PLAN**
1/8" = 1'-0"

- GENERAL NOTES**
- A. PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
 - B. SEE AWP SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLUMBINGS.
 - C. CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - D. SEE SHEET A-601 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - E. ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
 - F. WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECREATE SCHEDULED FINISH.
 - G. TELEPHONE ALL INTERIOR GLASS PARTITIONS TO REMAIN.
 - H. NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 - I. FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N/C.
 - J. UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REFINISH.
 - K. REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - L. REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- KEYED NOTES**
- A2.01 PROVIDE FINISHED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS.
 - A2.02 PROVIDE GREY OPEN PANEL WALL SYSTEM OR EQUIVALENT, SEE ELEVATION.
 - A2.03 PROVIDE STOREFRONT SYSTEM, TYP.
 - A2.04 RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL WORKING ORDER.
 - A2.05 PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
 - A2.06 PROVIDE DOOR AND FRAME.
 - A2.07 PROVIDE TOILET PARTITIONS, TYP.
 - A2.08 PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
 - A2.09 PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
 - A2.10 PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED/HARDWARED AUTOMATIC ELECTRICAL FLUSH VALVE.
 - A2.11 PROVIDE DRINKING FOUNTAINS AND ASSOCIATED PLUMBING.
 - A2.12 PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
 - A2.13 PROVIDE CURTAIN PARTITION.
 - A2.14 PROVIDE PRECAST CONCRETE BACKGROUND STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
 - A2.15 PROVIDE CAST-IN-PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
 - A2.16 OPENING IN CAST-IN-PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TPO OR EPDM ROOFING ON ROOF SLAB.
 - A2.17 PROVIDE OPERABLE STOREFRONT SYSTEM.
 - A2.18 PROVIDE OPERABLE, FOLDING PARTITION WALL, HANGAR WALL OR ARCHITECT APPROVED EQUIV.
 - A2.19 PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
 - A2.20 PROVIDE CARPET AND PAD. SEE SHEET A-551.
 - A2.21 PROVIDE CUSTOM MILLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
 - A2.22 PROVIDE CUSTOM LIGHT FIXTURES, TYP.
 - A2.23 PROVIDE NEW GLASS PARTITION.
 - A2.24 PROVIDE HIGH DRY FLUSH TOILET.
 - A2.25 PROVIDE CUSTOM CERAMIC BATH TUB W/ PORCELAIN OR STONE TILE SURROUNDED.
 - A2.26 PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
 - A2.27 PROVIDE CUSTOM BELLWORK WITH CHERETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
 - A2.28 LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
 - A2.29 EXISTING CAST-IN-PLACE COLUMN TO REMAIN.
 - A2.30 PROVIDE HEAT PUMP W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
 - A2.31 PROVIDE HANGING ROD AND SHELF.
 - A2.32 PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CUSTOM FILLER TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
 - A2.33 EXISTING PARTITIONS TO REMAIN.



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8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

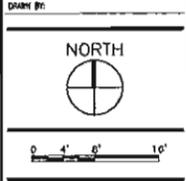
ROD AND ASSOCIATES LTD.
53 W. JACKSON BLVD STE 210
CHICAGO, IL 60604
TEL: 312.556.0000

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
COSTA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

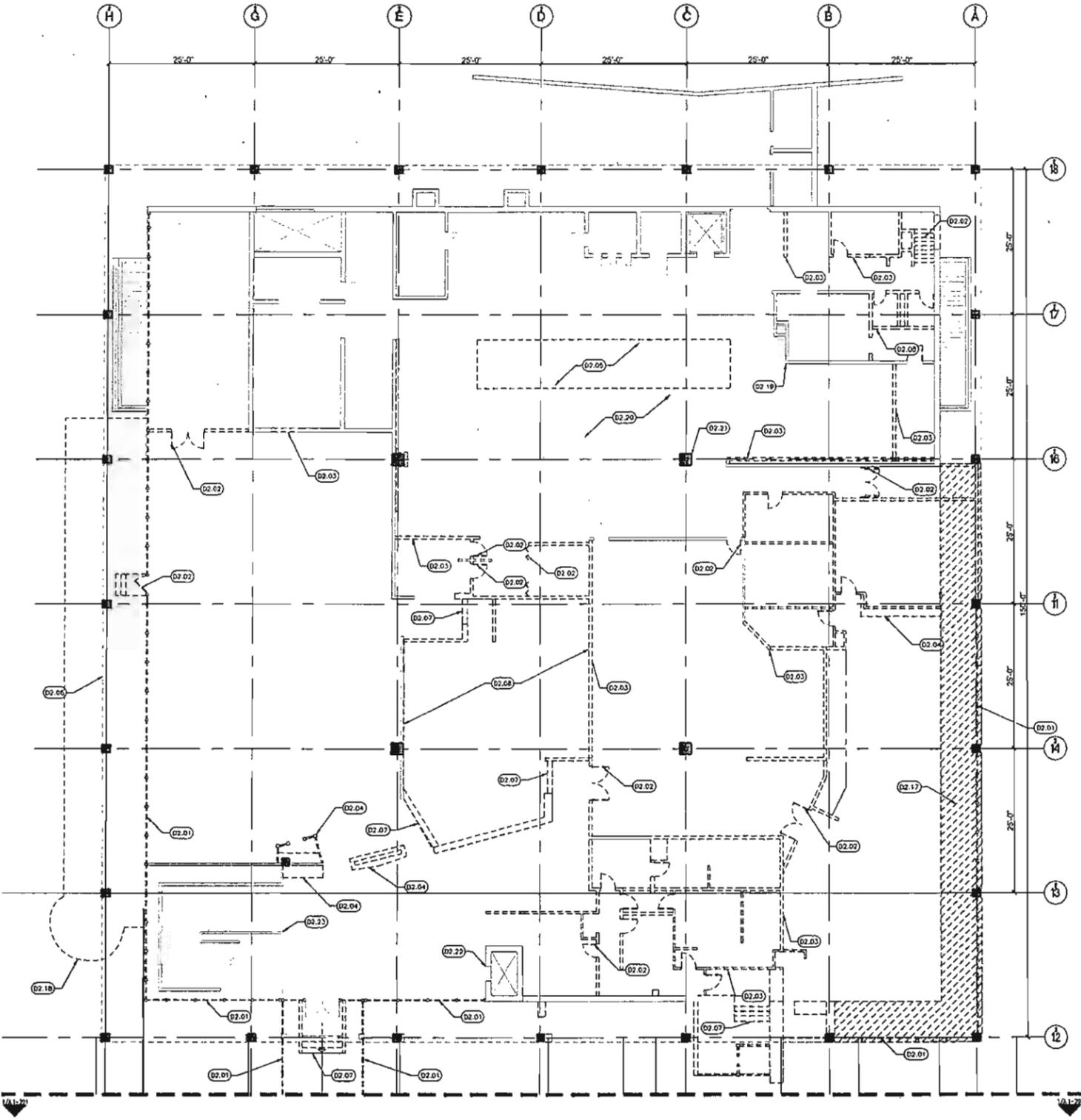
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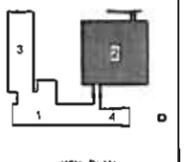
**BUILDING 1
LEVEL 01
PLAN**
DRAWING NO.
A.1-201
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- GENERAL NOTES**
- PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
 - SEE ALL REFERENCED DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLUMB DIAGRAM.
 - CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - SEE SHEET A-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
 - WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
 - TOUCH UP ALL INTERIOR CHAIR PARTITIONS TO REMAIN.
 - NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 - FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N/C.
 - UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GROUT TO AND RE-FINISH.
 - REMOVE ALL GYP/SAB BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- DEMOLITION KEYED NOTES**
- 02-01 REMOVE EXISTING STONEFRONT ELEVATOR AND GLAZED TYP.
 - 02-02 REMOVE EXISTING DOOR TYP.
 - 02-03 REMOVE EXISTING PARTITION TYP.
 - 02-04 REMOVE EXISTING KILNWORK.
 - 02-05 REMOVE EXISTING BASED TILE PARTITION EQUIPMENT CORNER AND TILE DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH. UNLESS SURROUNDING TYPICAL BY OTHER FINISH. ESTABLISH CORNER LOCATION WITH MEP SYSTEMS.
 - 02-06 LINE OF EXISTING OVERHEAD CONDUIT IS HOOD PENETRATIONS AND CEILING TO REMAIN AND BE PROTECTED.
 - 02-07 REMOVE EXISTING STAIRS.
 - 02-08 REMOVE ELEVATED FLOOR.
 - 02-09 REMOVE EXISTING OPERABLE FOLDING PARTITION.
 - 02-10 REMOVE EXISTING FURNITURE AND ASSOCIATED PLUMBING BACK TO REEP. SEE PLUMBING DRAWINGS.
 - 02-11 REMOVE EXISTING MASONRY.
 - 02-12 REMOVE WOODEN BLOCKING, SEALANT, FLASHING AND PARTITION TYP. SCRAPE AND CLEAN MASONRY OPENINGS.
 - 02-13 REMOVE EXISTING SINK COUNTER TOPS BASE CABINET & SUPPORT TYP.
 - 02-14 REMOVE ALL EQUIPMENT, HANGERS, PIPES, ETC. SEE MEP DRAWINGS.
 - 02-15 REMOVE STAIR RAILS, GRS, SCRAPE AND CLEAN MASONRY.
 - 02-16 REMOVE FOLDING DIVIDER WALL FOR SERVICE CORRIDOR.
 - 02-17 DEMOLISH AND REMOVE EXISTING FLOOR & STRUCTURE TO EXTENTS INDICATED BACK TO ORIGINAL 1600 STRUCTURE. COORDINATE LOCATION WITH ORIGINAL DESIGN DRAWINGS.
 - 02-18 DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANOPY MEMBERS TO EXTENTS INDICATED BACK TO ORIGINAL 1600 STRUCTURE. COORDINATE LOCATION WITH ORIGINAL DESIGN DRAWINGS.
 - 02-19 EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN UNITS WITH BALUAE OR NEW UNITS AND TUCK POINT JOINTS WITH SPECIFIED REPAIR MORTAR.
 - 02-20 EXISTING QUARRY TILE FLOOR FLOOR TO REMAIN. REPLACE BRICKS AND DAMAGED TILE AND MORTAR JOINTS WITH REPAIRING MATERIALS AND MORTAR. COORDINATE WITH REPAIR TILE FLOOR.
 - 02-21 EXISTING CONCRETE COLUMN TO REMAIN. TYP.
 - 02-22 EXISTING ELEVATOR TO REMAIN.
 - 02-23 EXISTING METALLIC STAIR TO REMAIN. PROTECT. COORDINATE ANY REMOVAL OF EXISTING BRICKS AND REPAIR PIECES WITH INSTALLATION OF NEW GUARDRAIL.



**BUILDING 02
LEVEL 01 DEMO PLAN**
1
1/8" = 1'-0"



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Skokie, Illinois 60076

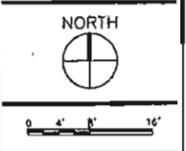
100 AND ASSOCIATES LTD
33 W JACKSON BLVD STE 215
CHICAGO IL 60604
312.225.0001 PM

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

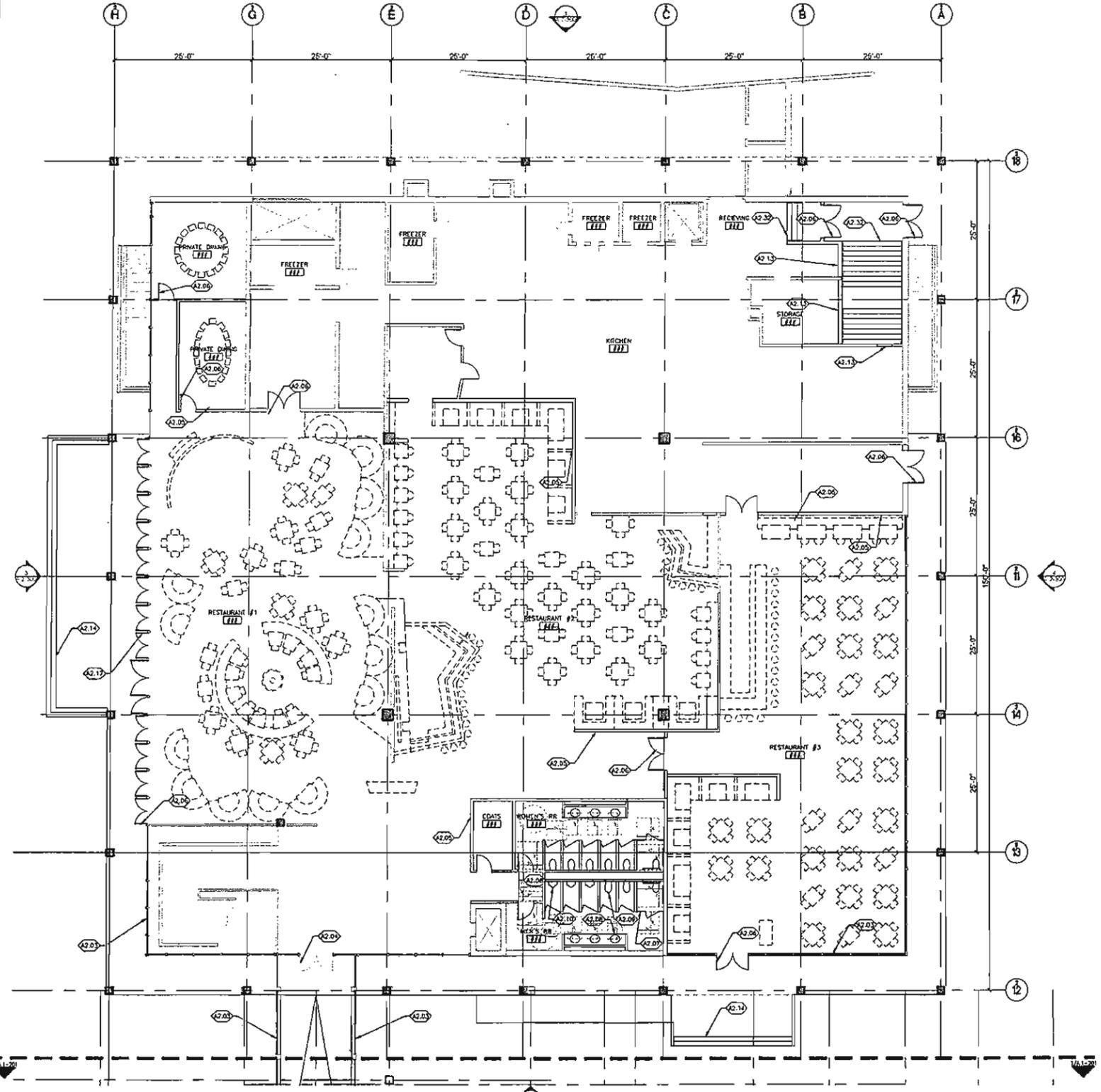


**BUILDING 02
LEVEL 01
DEMO PLAN**

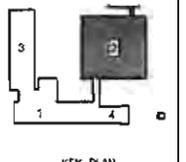
DRAWING NO.
AD.2-201

- GENERAL NOTES**
- A PATCH SCRAP, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FRESH SCHEDULE.
 - B SEE A-FIN SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLUMB SQUARES.
 - C CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
 - D SEE SHEET A401 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
 - E ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
 - F WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
 - G TUCKPOINT ALL IN-TRENCH GCM PARTITIONS TO REMAIN.
 - H NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
 - I FURNITURE SHOWN ON SHEET IS FOR REFERENCE ONLY AND NOT I.C.
 - J UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GYP/PLA AND REFRASK.
 - K REMOVE ALL GYP/PLA BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
 - L REMOVE ALL FLOOR FINISHES, ASSOCIATED BASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

- KEYED NOTES**
- A2.01 PROVIDE PREFINISHED ALUMINUM ENTRANCE CASING AND PAINTED GALVANIZED STEEL HANDERS.
 - A2.02 PROVIDE OAKY GREEN PANEL WALL SYSTEM OR EQUIVALENT. SEE ELEVATION.
 - A2.03 PROVIDE STOREFRONT SYSTEM. TYP.
 - A2.04 RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL VIEWING ORDER.
 - A2.05 PROVIDE PAINTED GYP/PLA BOARD PARTITION. TYP.
 - A2.06 PROVIDE DOOR AND FRAMING.
 - A2.07 PROVIDE TOILET PARTITIONS. TYP.
 - A2.08 PROVIDE LAUNDRY. TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
 - A2.09 PROVIDE TOILET. TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
 - A2.10 PROVIDE URINAL. TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED / HARDWARED AUTOMATIC ELL CRITICAL FLOOR VALVE.
 - A2.11 PROVIDE CHANGING ROOMS AND ASSOCIATED PLUMBING.
 - A2.12 PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE. TYP.
 - A2.13 PROVIDE GCM PARTITION.
 - A2.14 PROVIDE PRECAST CONCRETE MONUMENTAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
 - A2.15 PROVIDE CAST IN PLACE CONCRETE SPOKE WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CURTAIN COLOR.
 - A2.16 OPENING IN CAST IN PLACE CONCRETE ROOF SLAB AND/OR PROVIDE TRIO OR EQUIVALENT ROOFING OVER SLAB.
 - A2.17 PROVIDE OPERABLE STOREFRONT SYSTEM.
 - A2.18 PROVIDE OPERABLE, FOLDING PARTITION WALL. HANDRAIL OR ARCHITECT APPROVED EQUAL.
 - A2.19 PROVIDE NEW LIGHT GAUGE METAL FRAMED GYP/PLA BOARD PARTITION.
 - A2.20 PROVIDE CARPET AND PAD. SEE SHEET A-301.
 - A2.21 PROVIDE CUSTOM MILLWORK VARIETY W/ CUSTOM LAUNDRY AND PAINTS.
 - A2.22 PROVIDE CUSTOM LIGHT FIXTURES. TYP.
 - A2.23 PROVIDE NEW GLASS PARTITION.
 - A2.24 PROVIDE HIGH LOW FLUSH TOILET.
 - A2.25 PROVIDE CUSTOM CERAMIC BATHS W/ PORCELAIN OR STONE TILE SURROUND.
 - A2.26 PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
 - A2.27 PROVIDE CUSTOM MILLWORK/IRONBETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
 - A2.28 LINE UP GYP/PLA BOARD CEILING DROP AND FINISH ABOVE.
 - A2.29 EXISTING GAST. IN PLACE COLLECTIVE REMAIN.
 - A2.30 PROVIDE HEAT PUMP W/ WALL RETURN. SEE MECHANICAL DRAWINGS.
 - A2.31 PROVIDE HANGING ROD AND SHELF.
 - A2.32 PROVIDE PRE ASSEMBLED STEEL STAIR WITH COGNITIVE FILLED TREADS AND PAINTED GALVANIZED STEEL HANDRAIL.
 - A2.33 EXISTING PARTITIONS TO REMAIN.



**BUILDING 02
LEVEL 01 PLAN**
1/28 - 1/28



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Skokie, Illinois 60076

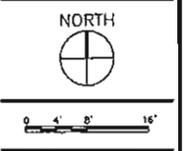
ROO AND ASSOCIATES LTD
83 W. JACKSON BLVD STE 218
CHICAGO, IL 60604
312-236-2200 FX

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

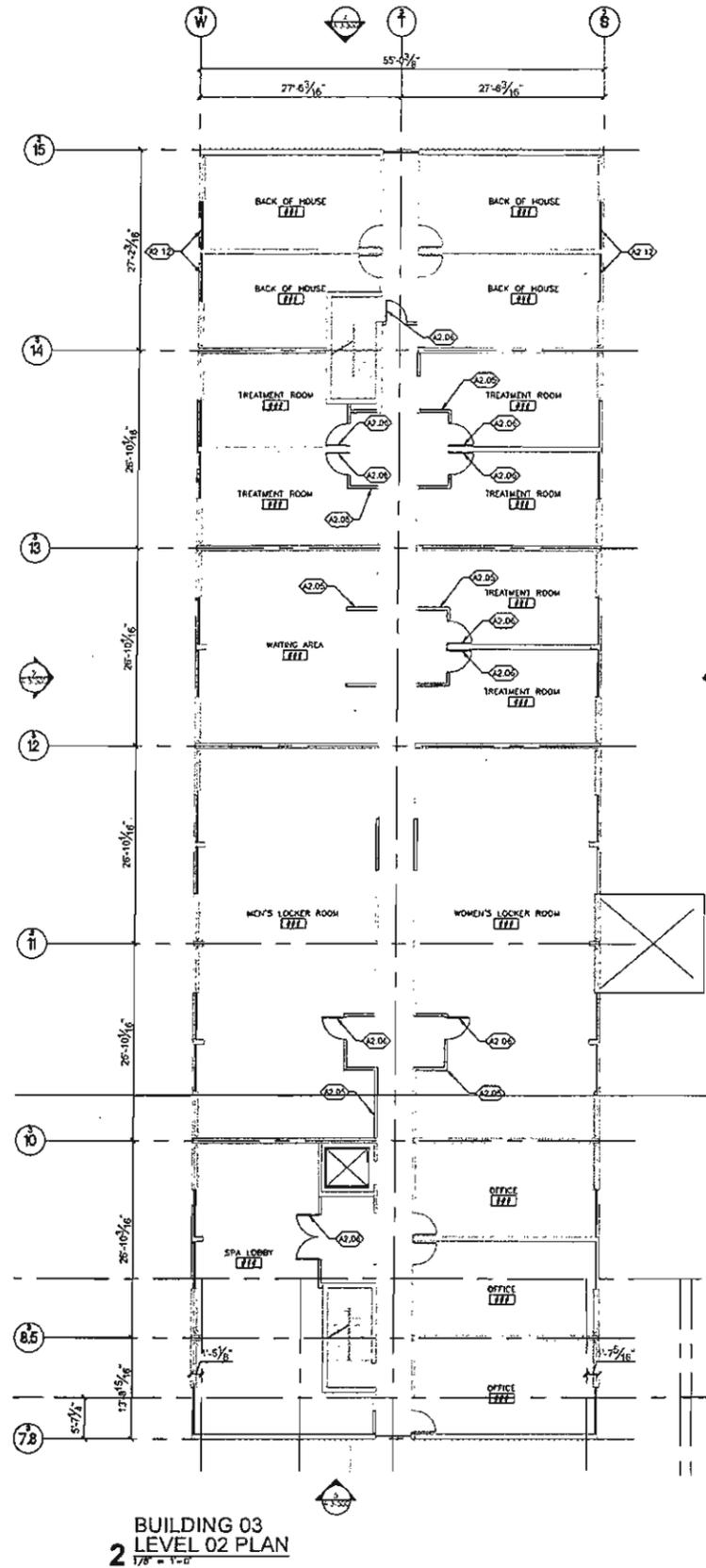


**BUILDING 02
LEVEL 01
PLAN**

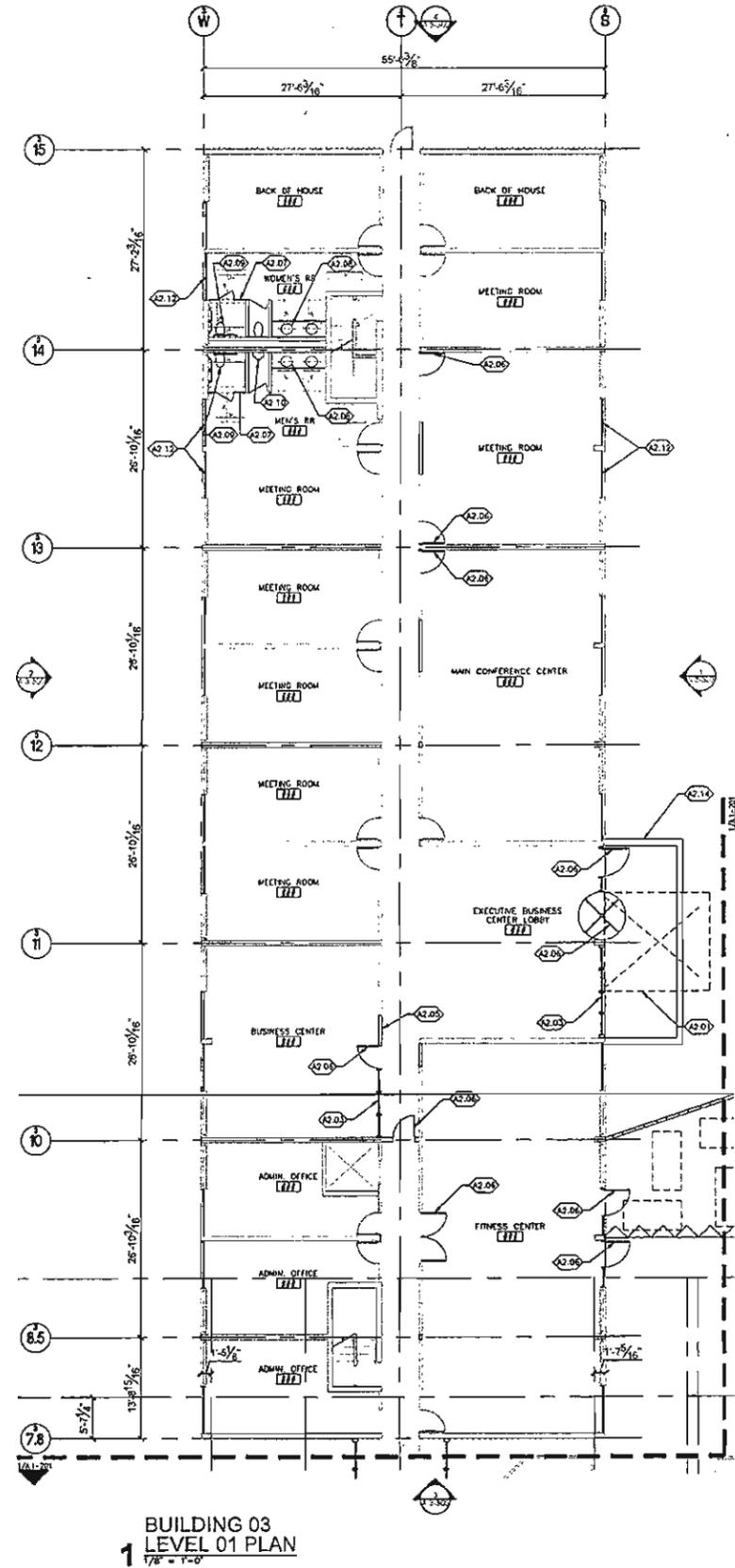
DRAWING NO.
A.2-201

GENERAL NOTES	
A.	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B.	SEE A-300 SERIES DRAWINGS FOR TYPICAL LIGHTING HEIGHTS AND PLAN DIAGRAMS.
C.	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D.	SEE SHEET A-401 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E.	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F.	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RE-CEILING SCHEDULED FINISH.
G.	TRUCKPORT ALL INTERIOR GYM PARTITIONS TO REMAIN.
H.	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I.	FURNITURE SHOW CASED IN IS FOR REFERENCE ONLY AND NOT TO BE CONSIDERED.
J.	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAPHTY AND REPAIRS.
K.	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
L.	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

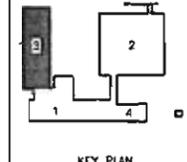
KEYED NOTES	
A2.01	PROVIDE PREFINISHED ALUMINUM ENTRANCE CANNOPY AND PAINTED GALVANIZED STEEL HANGERS
A2.02	PROVIDE COPY SHEET WALL SYSTEM OR EQUIVALENT, SEE ELEVATION.
A2.03	PROVIDE STOREFRONT SYSTEM, TYP.
A2.04	RELOCATE EXISTING DOOR TO REMAIN, REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL WORKING ORDER.
A2.05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
A2.06	PROVIDE DOOR AND FRAME.
A2.07	PROVIDE TOILET PARTITIONS, TYP.
A2.08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE COVERED / HARDWARED AUTOMATIC ELECTRIC FLUSH VALVE.
A2.11	PROVIDE DISHWASHING FIXTURES AND ASSOCIATED PLUMBING.
A2.12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE WINDOW TO MATCH EXISTING PROFILE, TYP.
A2.13	PROVIDE GYM PARTITION.
A2.14	PROVIDE PRECAST CONCRETE MONUMENTAL STAIR OR PAINTED GALVANIZED STEEL STRUCTURE WITH STAIRCASES, STEEL GUARDRAILS AND HANDRAILS.
A2.15	PROVIDE CAST-IN PLACE CONCRETE SCREEN WALL WITH REINFORCING COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
A2.16	OPENING IN GYM PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TPO OR EPDM ROOF ON ROOF SLAB.
A2.17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2.18	PROVIDE OPERABLE FOLDING PARTITION WALL, HANNAWALL OR ARCHITECT APPROVED EQUAL.
A2.19	PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
A2.20	PROVIDE CARPET AND PAD, SEE SHEET A-301.
A2.21	PROVIDE CUSTOM ALLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
A2.22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2.23	PROVIDE NEW GLASS PARTITION.
A2.24	PROVIDE HIGH-LOW FLUSH TOILET.
A2.25	PROVIDE CUSTOM CERAMIC BATHING W/ PORCELAIN OR STONE TILE SUBSTRATE.
A2.26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND CURTAIN.
A2.27	PROVIDE CUSTOM ALLWORK KITCHENETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2.28	LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
A2.29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2.30	PROVIDE HEAT PUMP W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
A2.31	PROVIDE HANGING ROD AND SHELF.
A2.32	PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CONCRETE FILLED TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
A2.33	EXISTING PARTITION TO REMAIN.



**BUILDING 03
LEVEL 02 PLAN**
1/8" = 1'-0"



**BUILDING 03
LEVEL 01 PLAN**
1/8" = 1'-0"



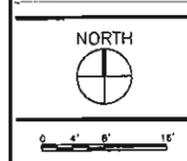
KEY PLAN
WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd., Suite 100
Skokie, Illinois 60076

ROO AND ASSOCIATES LTD
5517 JACKSON BLVD STE 215
CHICAGO, IL 60644
312-228-0299 PH

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
BONA ENGINEER

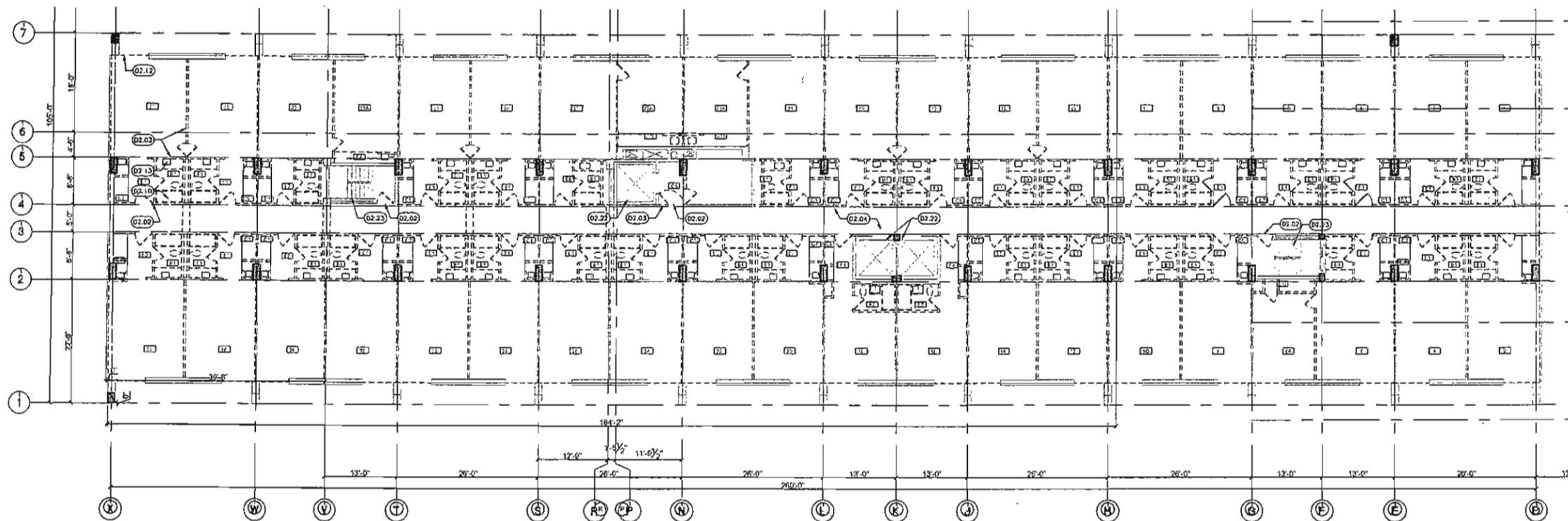
PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



**BUILDING 03
PLANS
LEVELS 01, 02**

DRAWING NO.
A.3-201



BUILDING 01
1 TYPICAL DEMO PLAN
 1/8" = 1'-0"



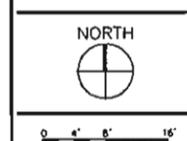
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
 44 W JACKSON BLVD STE 218
 CHICAGO, IL 60604
 312-235-0071

Engineer 1
 ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 ESTIM ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



BUILDING 01
LEVELS 2-5
TYPICAL
DEMO PLAN

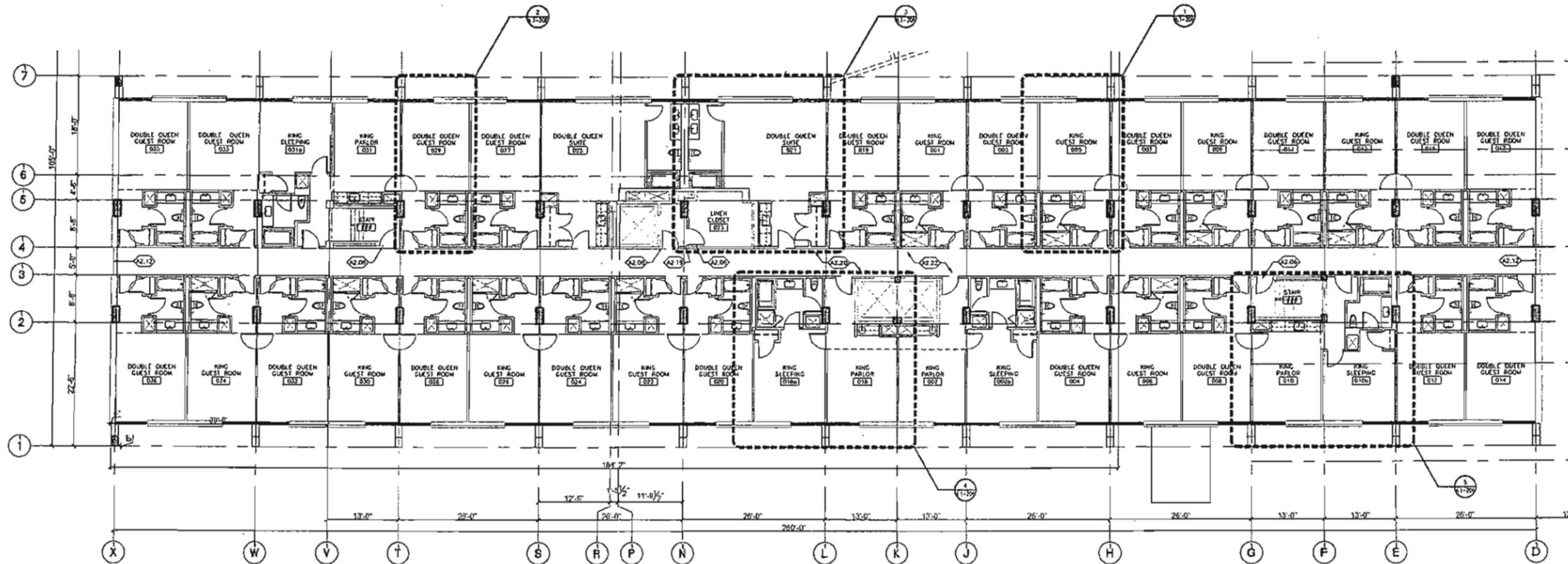
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AD.1-202

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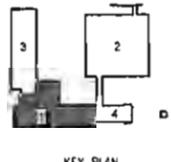
GENERAL NOTES	
A.	PATCH SCRAM PATCH, FINISH EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B.	SEE A-MFP SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIAGRAMS.
C.	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D.	SEE SHEET A601 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E.	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F.	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G.	TUCKPOINT ALL INTERIOR CURT PARTITIONS TO REMAIN.
H.	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I.	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N.C.
J.	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REFINISH.
K.	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
L.	REMOVE ALL FLOOR FINISHES, EXCEPT TILE AND ALL OTHER EXISTING FLOORING MATERIALS TO REMAIN ON STRUCTURAL SLAB.

DEMOLITION KEYED NOTES	
D2.01	REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING, TYP.
D2.02	REMOVE EXISTING DOOR, TYP.
D2.03	REMOVE EXISTING PARTITION, TYP.
D2.04	REMOVE EXISTING MILLWORK.
D2.05	REMOVE EXISTING RAISED TILE FINISHED EQUIPMENT CURBS AND DRAGLON DOWN TO SLAB LEVEL BY FIRE PARTITION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING, TYPICAL IN FINISH AREAS. COORDINATE CURB DEMOLITION WITH MEP SYSTEMS.
D2.06	LIVE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED.
D2.07	REMOVE EXISTING STAIRS.
D2.08	REMOVE ELEVATED FLOOR.
D2.09	REMOVE EXISTING OPERABLE FOLDING PARTITION.
D2.10	REMOVE EXISTING FUTURE AND ASSOCIATED PLUMBING BACK TO RISER, SEE PLUMBING DRAWINGS.
D2.11	REMOVE EXISTING MASONRY.
D2.12	REMOVE WINDOW GLASSING, SEALANT, FLASHING, AND PAINTING, TYP. SCRAPER AND CLEAN MASONRY OPENINGS.
D2.13	REMOVE EXISTING SINK, COUNTER TOPS, BASE CABINET & SUPPORT, TYP.

D2.14	REMOVE ALL EQUIPMENT, HANGERS, PIPING, ETC. SEE MEP/FP DRAWINGS.
D2.15	REMOVE STAIR AND RAILINGS. SCRAPER AND CLEAN MASONRY.
D2.16	REMOVE FOUNDATION WALL FOR NEW SERVICE CORRIDOR.
D2.17	DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL TPO STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
D2.18	DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANOPY MEMBERS TO EXTENTS INDICATED, BACK TO ORIGINAL TPO STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
D2.19	EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN UNITS WITH SALVAGE OR NEW UNITS AND TUCK-POINT JOINTS WITH SPECIFIED REPAIR MORTAR.
D2.20	EXISTING QUARRY TILE FLOOR FINISH TO REMAIN. REPLACE BROKEN AND DAMAGED TILE AND MORTAR JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN ENTIRE TILE FLOOR.
D2.21	EXISTING CONCRETE COLUMN TO REMAIN, TYP.
D2.22	EXISTING ELEVATOR TO REMAIN.
D2.23	EXISTING EXTERIOR STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRASS GUARDRAIL PIECES WITH INSTALLATION OF NEW GUARDRAIL.



**BUILDING 01
LEVEL 02 PLAN**
1/8" = 1'-0"



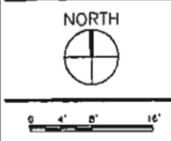
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100 AND ASSOCIATES LTD.
33 W JACKSON BLDG STE 218
CHICAGO, IL 60604
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Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



BUILDING 01
LEVELS 2-5
TYPICAL PLAN

DRAWING NO.
A.1-202

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GENERAL NOTES	
A	REMOVE SCRAP, PILING, PARTIAL EXISTING WALLS TO REMAIN. SEE ROOF/FLASHING SCHEDULE.
B	SEE ARCHITECT DRAWINGS FOR TYPICAL LIGHTING HEIGHTS AND PLAN DIAGRAMS.
C	CENTER FINISHES UNLESS OTHERWISE NOTED.
D	SEE SHEET A-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	TUCKPOINT ALL INTERIOR CMU PARTITIONS TO REASON.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND NOT TO BE INSTALLED.
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFTED AND REFINISH.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANDERS AND FRAMING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

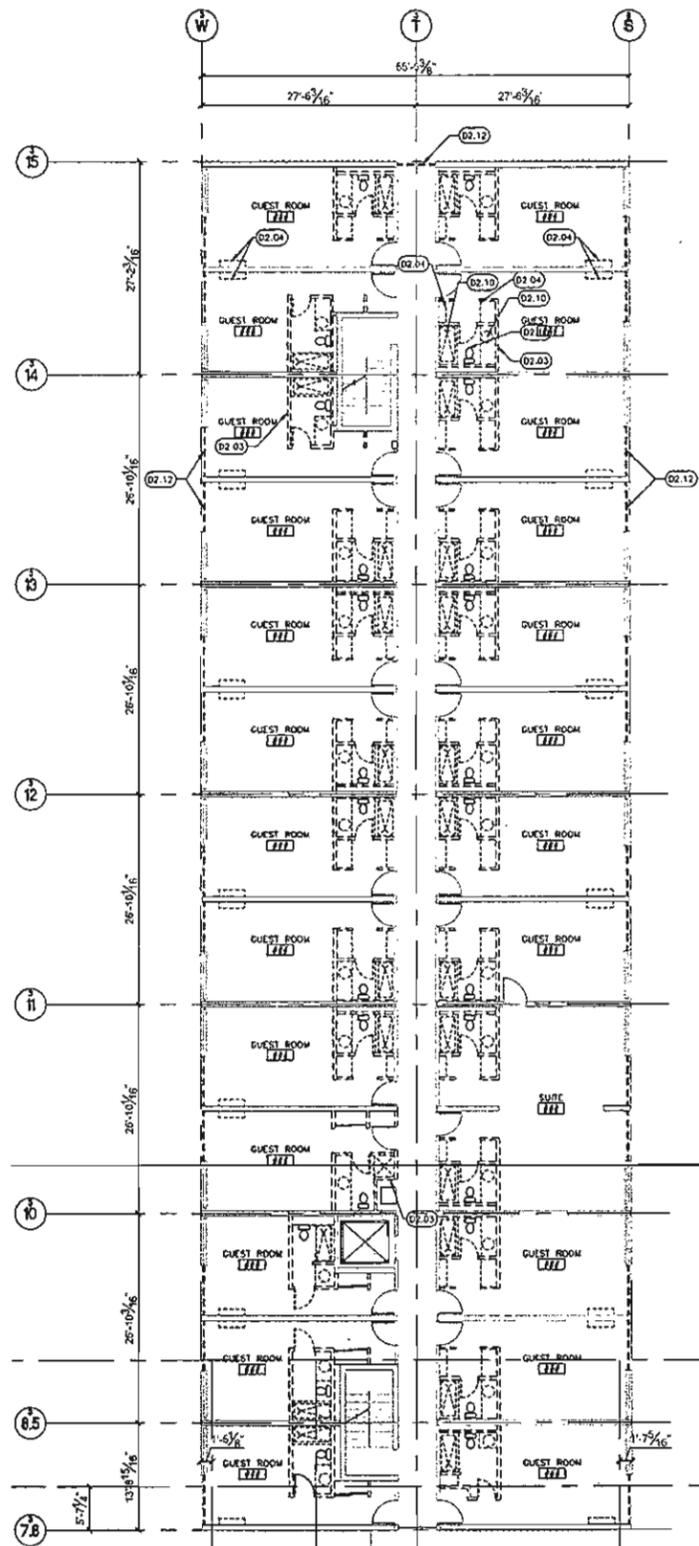
KEYED NOTES	
A2-01	PROVIDE PREFABRICATED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANDERS.
A2-02	PROVIDE GYPSUM BOARD PARTITION SYSTEM OR EQUIVALENT. SEE ELEVATION.
A2-03	PROVIDE STONEFRONT SYSTEM, TYP.
A2-04	RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL WORKING ORDER.
A2-05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
A2-06	PROVIDE DOOR AND FRAME.
A2-07	PROVIDE TOILET PARTITION, TYP.
A2-08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2-09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2-10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED / HARDWIRED AUTOMATIC ELECTRICAL FLUSH VALVE.
A2-11	PROVIDE CROWN MOULDING AND ASSOCIATED PLUMBING.
A2-12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
A2-13	PROVIDE CMU PARTITION.
A2-14	PROVIDE PRECAST CONCRETE MONUMENTAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
A2-15	PROVIDE CAST IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
A2-16	OPENING IN CAST IN PLACE CONCRETE ROOF SLAB ABOVE, PROVIDE TPO OR EPDM ROOFING ON ROOF SLAB.

A2-17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2-18	PROVIDE OPERABLE, FOLDING PARTITION WALL, HANDRAIL OR ARCHITECT APPROVED EQUAL.
A2-19	PROVIDE JEWELRY CASE METAL FRAMED GYPSUM BOARD PARTITION.
A2-20	PROVIDE CHALET AND PAD. SEE SHEET A-01.
A2-21	PROVIDE CUSTOM MILLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
A2-22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2-23	PROVIDE NEW GLASS PARTITION.
A2-24	PROVIDE HIGH LOW FLUSH TOILET.
A2-25	PROVIDE CUSTOM CERAMIC BATHUB W/ PORCELAIN OR STONE TILE SURROUND.
A2-26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
A2-27	PROVIDE CUSTOM MILLWORK KITCHENETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2-28	LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
A2-29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2-30	PROVIDE HEAT PUMP W/ VENT RETURN, SEE MECHANICAL DRAWINGS.
A2-31	PROVIDE HANGING ROD AND SHELF.
A2-32	REMOVE ONE ASSEMBLED STEEL STAIR WITH CONCRETE FILLED TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
A2-33	EXISTING PARTITIONS TO REMAIN.

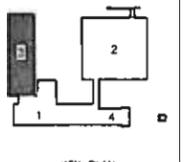
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PLOT SCALE
PLOT DATE:

GENERAL NOTES	
A	PATCH, SCRAPER BRUSH, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
B	SEE LAMP SERIES DRAWINGS FOR TYPICAL LIGHTING HEIGHTS AND PLUMB DIMENSIONS.
C	CENTER LIGHTS BY ROOM UNLESS OTHERWISE NOTED.
D	SEE SHEET A401 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	THICKEN ALL INTERIOR GLAZ PARTITIONS TO REMAIN.
H	NOT ALL REVISIONS APPEAR ON ALL SHEETS.
I	FURNITURE SPECIFICATIONS ARE FOR REFERENCE ONLY AND NOT TO BE USED FOR CONSTRUCTION.
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REPAIRS.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED BASE AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

DEMOLITION NOTES	
D2 01	REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING, TYP.
D2 02	REMOVE EXISTING DOOR, TYP.
D2 03	REMOVE EXISTING PARTITION, TYP.
D2 04	REMOVE EXISTING MELLWORK.
D2 05	REMOVE EXISTING BASED, THE FINISHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING TYPICAL IN VOTER AREA. COORDINATE CURB DEMOLITION WITH LIFT SYSTEMS.
D2 06	LINE OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED.
D2 07	REMOVE EXISTING STAIR.
D2 08	REMOVE EXISTING FLOOR.
D2 09	REMOVE EXISTING OPERABLE FOLDING PARTITION.
D2 10	REMOVE EXISTING FURNITURE AND ASSOCIATED FLOORING BACK TO RISER, SEE PULLING AND DEMOLITION.
D2 11	REMOVE EXISTING MASONRY.
D2 12	REMOVE WINDOW, SILLING, FLASHING AND FINISHING TYP. SCRAPER AND CLEAN MASONRY OPENING.
D2 13	REMOVE EXISTING BRK. COUNTER TOPS, BASE CABINETS & SUPPORT, TYP.
D2 14	REMOVE ALL EQUIPMENT, MANGERS, PIPING, ETC. SEE MEETINGS DRAWINGS.
D2 15	REMOVE STAIR AND RAILING. SCRAPER AND CLEAN MASONRY.
D2 16	REMOVE TELECOMUNICATION WALL FOR NEW SERVICE CONNECTION.
D2 17	DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
D2 18	DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANTON MEMBERS TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS.
D2 19	EXISTING GLAZED BLOCK PARTITIONS TO REMAIN. REPLACE BROKEN UNITS WITH BALVADE OR NEW UNITS AND TUCK-POINT JOINTS WITH SPECIFIED REPAIR MIXTURE.
D2 20	EXISTING QUARRY TILE FLOOR FINISH TO REMAIN. REPLACE BROKEN AND DAMAGED TILE AND MORTAR JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN ENTIRE TILE FLOOR.
D2 21	EXISTING CONCRETE COLUMN TO REMAIN, TYP.
D2 22	EXISTING ELEVATOR TO REMAIN.
D2 23	EXISTING HORIZONTAL STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRASS GUARD RAIL PIECES WITH INSTALLATION OF NEW GUARD RAIL.



**BUILDING 03
LEVEL 03 DEMO PLAN**
1/8" = 1'-0"



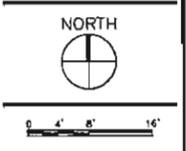
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700 AND ASSOCIATES LTD
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CHICAGO, IL 60604
TEL: 312-329-6871

Engineer 1
Engineer 2
Engineer 3
Engineer 4

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



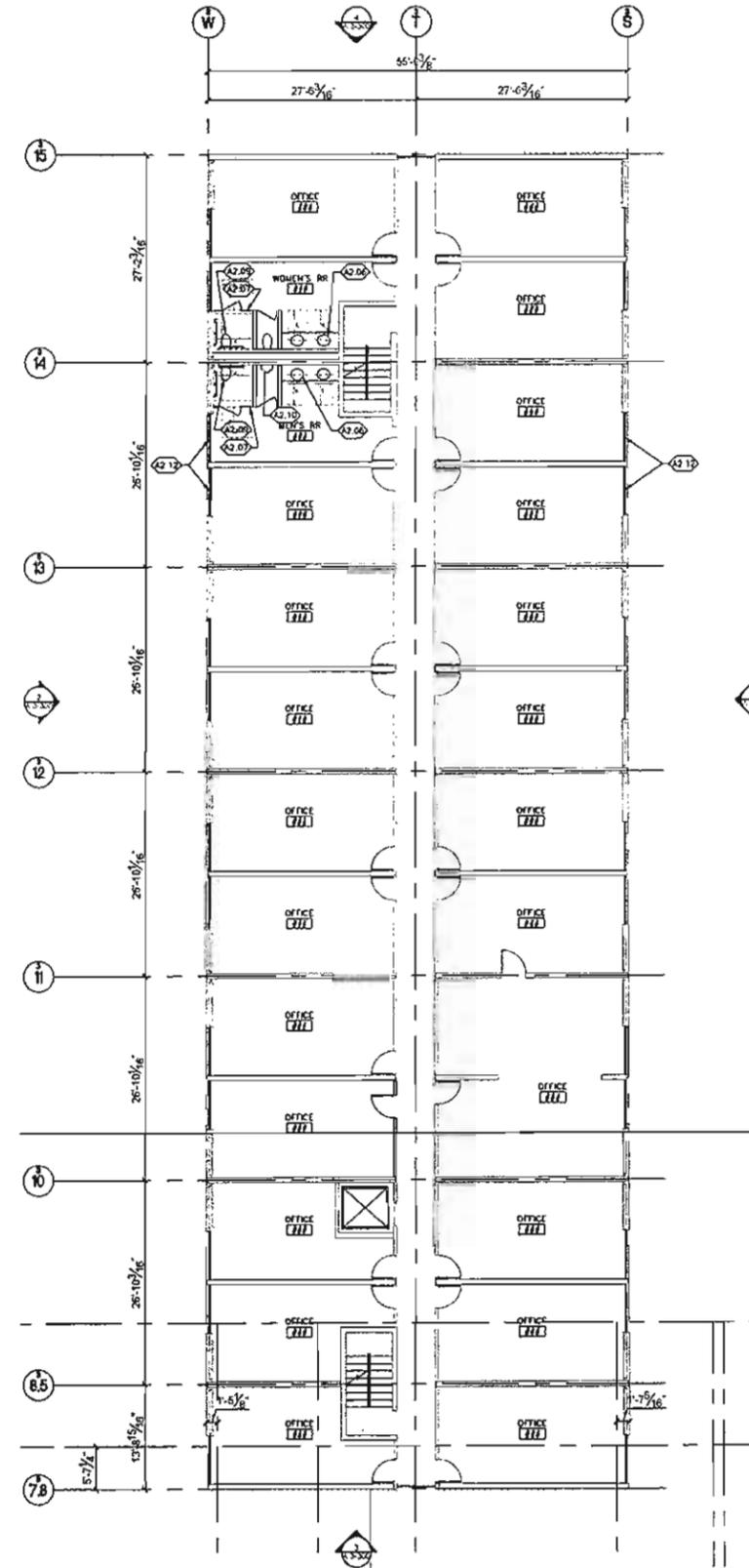
**BUILDING 03
DEMO PLANS
LEVEL 03**

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AD.3-202

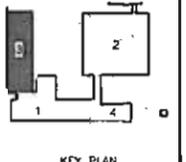
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GENERAL NOTES	
A	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN SEE ROOM FINISH SCHEDULE.
B	SEE FINISH SCHEDULE DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DIAGRAMS.
C	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D	SEE SHEET A401 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	TRIM OUT ALL ITEMS ON PARTITIONS TO REMAIN.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	MEASUREMENTS DASHED IS FOR REFERENCE ONLY AND I.L.C.
J	UNLESS SPECIFICALLY INDICATED VOID WALL FINISHES ARE TO REMAIN REMOVE ALL GYPSUM BOARD AND PLASTER.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FROGGING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

KEYED NOTES	
A2.01	PROVIDE PREFORMED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS.
A2.02	PROVIDE GOLF GREEN PANEL WALL SYSTEM OR EQUIVALENT. SEE ELEVATION.
A2.03	PROVIDE STOREFRONT SYSTEM, TYP.
A2.04	REINSTATE EXISTING DOOR TO REMAIN REPLACE ALL GLAZING AND HARDWARE, RETURN TO FULL WORKING ORDER.
A2.05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
A2.06	PROVIDE DOOR AND FRAME.
A2.07	PROVIDE TOILET PARTITIONS, TYP.
A2.08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2.10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED, SUBSERVED AUTOMATIC ELECTRICAL FLUSH VALVE.
A2.11	PROVIDE DRINKING FOUNTAINS AND ASSOCIATED PLUMBING.
A2.12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
A2.13	PROVIDE GYM PARTITION.
A2.14	PROVIDE PRECAST CONCRETE TYPICAL STAIR (PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS).
A2.15	PROVIDE CAST IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH AND SET TO CUSTOM COLOR.
A2.16	OPENING IN CAST IN PLACE CONCRETE ROOF SLAB ABOVE PROVIDE TPO OR EPDM ROOFING ON ROOF SLAB.
A2.17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2.18	PROVIDE OPERABLE, 7' GLASS PARTITION WALL, HANDRAIL OR ARCHITECT APPROVED EQUAL.
A2.19	PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
A2.20	PROVIDE CARPET AND PAD. SEE SHEET A-401.
A2.21	PROVIDE CUSTOM MILLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
A2.22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2.23	PROVIDE NEW GLASS PARTITION.
A2.24	PROVIDE PROHLOW FLUSH TOILET.
A2.25	PROVIDE CUSTOM CERAMIC BATH TUB W/ PORCELAIN OR STONE TILE SURROUND.
A2.26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND WALL.
A2.27	PROVIDE CUSTOM MILLWORK KITCHENETTE W/ STAINLESS STEEL APPLIANCE AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2.28	LINE OF GYPSUM BOARD CEILING DROP AND TRACING ABOVE.
A2.29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2.30	PROVIDE HEAT PUMP W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
A2.31	PROVIDE HANGING ROD AND SHELF.
A2.32	PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CONCRETE FILLED TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
A2.33	EXISTING PARTITIONS TO REMAIN.



**BUILDING 03
LEVEL 03 PLAN**
1/8" = 1'-0"



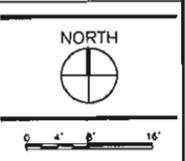
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Engineer 1
STRUCTURAL ENGINEER
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PURPLE HOTEL
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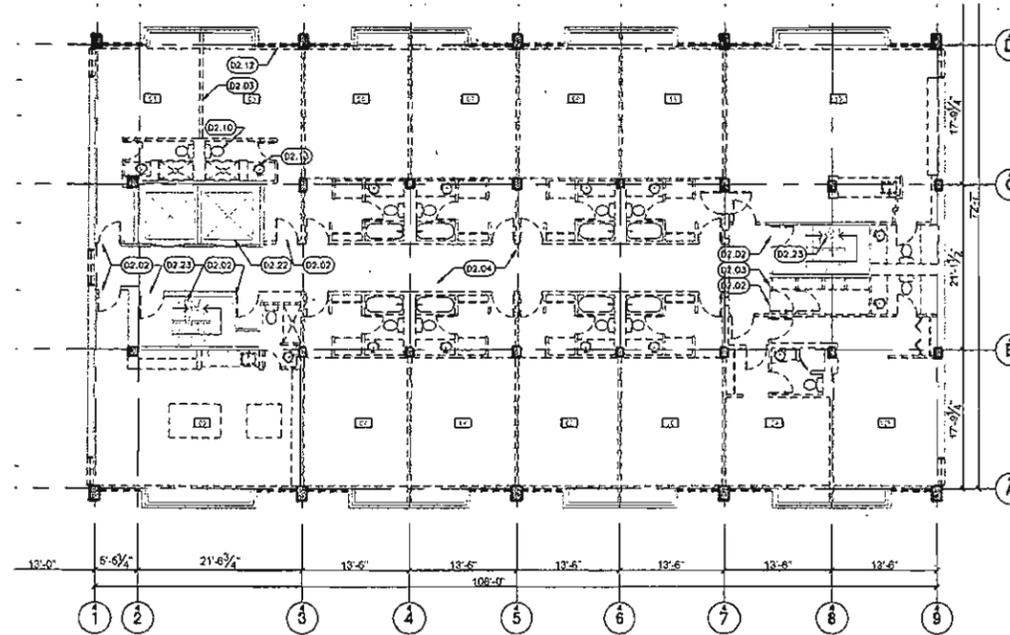
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



**BUILDING 03
PLANS
LEVEL 03**

DRAWING NO.
A.3-202

USER: PLOT SCALE: PLOT DATE:

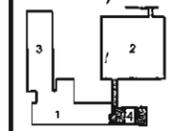


**BUILDING 04
1 TYPICAL DEMO PLAN**
1/8" = 1'-0"

GENERAL NOTES	
A	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN SEE ROOF FINISH SCHEDULE
B	SEE A-F-F SERIES DRAWINGS FOR TYPICAL EIGHTING HEIGHTS AND PLAN DIAGRAMS
C	CURTAIN LIMITS IN ROOM UNLESS OTHERWISE NOTED
D	SEE SHEET A-001 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE
F	WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH
G	TUCKPOINT ALL INTERIOR CMU PARTITIONS TO REMAIN
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS
I	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N/C
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN, REMOVE ALL GRAFFITI AND REFRASH
K	REMOVE ALL GYP(S&B) BOARD CEILING AND ASSOCIATED HUNGERS AND FRAMING
L	REMOVE ALL FLOOR FINISHES ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB

DEMOLITION KEYED NOTES	
D2.01	REMOVE EXISTING STOREFRONT EYS TEAM AND GLAZING, TYP
D2.02	REMOVE EXISTING DOOR, TYP
D2.03	REMOVE EXISTING PARTITION, TYP
D2.04	REMOVE EXISTING MILLWORK
D2.05	REMOVE EXISTING HANDED, TILE FRESHED EQUIPMENT CURBS AND DEMOLISH DOWN TO SLAB LEVEL IN PREPARATION FOR INSTALLATION OF NEW LEVEL FLOOR FINISH TO MATCH SURROUNDING, TYPICAL IN FITMENT AREAS. COORDINATE CURB DEMOLITION WITH MEP SYSTEMS
D2.06	LIME OF EXISTING OVERHEAD CONCRETE ROOF STRUCTURE AND CEILING TO REMAIN AND BE PROTECTED
D2.07	REMOVE EXISTING STAIRS
D2.08	REMOVE ELEVATED FLOOR
D2.09	REMOVE EXISTING OPERABLE FOLDING PARTITION
D2.10	REMOVE EXISTING FURNITURE AND ASSOCIATED PLUMBING BACK TO RISER, SEE PLUMBING DRAWINGS
D2.11	REMOVE EXISTING MASONRY
D2.12	REMOVE WINDOW, BLOCKING, SEALANT, FLASHING, AND PANNING, TYP. SCRAPE AND CLEAN MASONRY OPENINGS
D2.13	REMOVE EXISTING SINK, COUNTER TOPS, BASE CABINET & SUPPORT, TYP
D2.14	REMOVE ALL EQUIPMENT, HANGERS, PIPING, ETC. SEE MEPP DRAWINGS

D2.15	REMOVE STAIR AND RAILINGS, SCRAPE AND CLEAN MASONRY
D2.16	REMOVE FOUNDATION WALL FOR NEW SERVICE CONSIDER
D2.17	DEMOLISH AND REMOVE EXISTING FLOOR STRUCTURE TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS
D2.18	DEMOLISH AND REMOVE EXISTING EXTERIOR WOOD DECK STRUCTURE AND GALVANIZED STEEL RAILING AND CANOPY HANGERS TO EXTENTS INDICATED, BACK TO ORIGINAL 1960 STRUCTURE. COORDINATE DEMOLITION WITH ORIGINAL DESIGN DRAWINGS
D2.19	EXISTING GLAZED BLOCK PARTITIONS TO REMAIN, REPLACE BROKEN UNITS WITH SALVAGE OR NEW UNITS AND TUCK-POINT JOINTS WITH SPECIFIED REPAIR MORTAR
D2.20	EXISTING GRANITE TILE FLOOR FINISH TO REMAIN, REPLACE BROKEN AND DAMAGED TILE AND MORTAR JOINTS WITH MATCHING MATERIALS AND THOROUGHLY CLEAN EXPOSED TILE FLOOR
D2.21	EXISTING CONCRETE COLUMN TO REMAIN, TYP
D2.22	EXISTING ELEVATOR TO REMAIN
D2.23	EXISTING MECHANICAL STAIR TO REMAIN AND BE PROTECTED. COORDINATE ANY REMOVAL OF EXISTING BRUSH GUARD RAIL PRICES WITH INSTALLATION OF NEW GUARD RAIL



KEY PLAN

WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

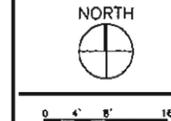
KOO AND ASSOCIATES LTD
35 W JACKSON RD STE 718
CHICAGO, IL 60604
312.726.0071

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRN ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

Drawn by:



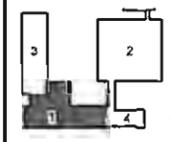
**BUILDING 04
TYPICAL
DEMO PLAN**

DRAWING NO.

AD.4-202

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USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



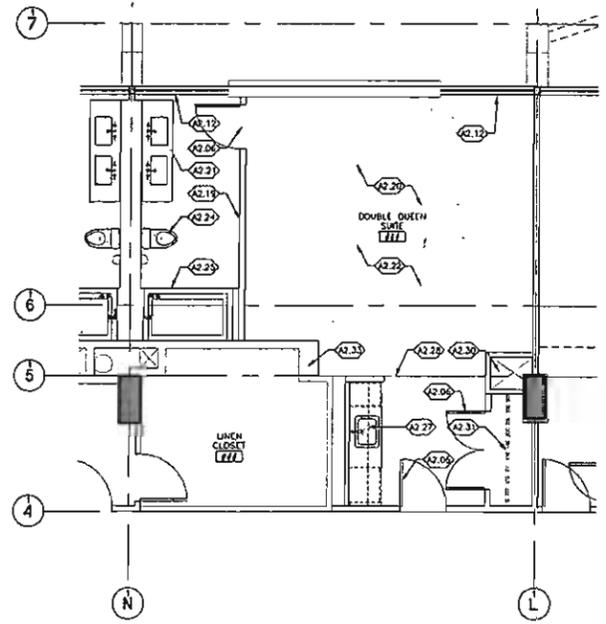
KEY PLAN

WEISS
 ARCHITECTS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd. Suite 100
 Skokie, Illinois 60076

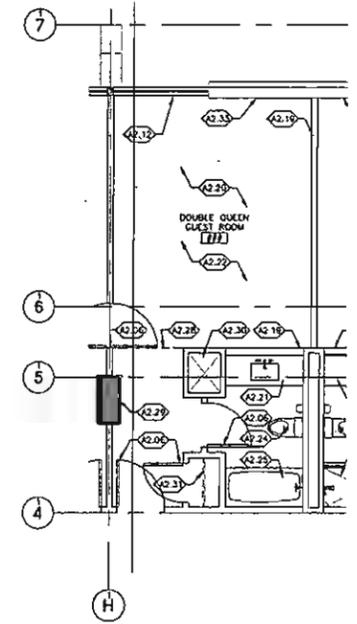
1000 AND ASSOCIATES LTD
 85 W JACKSON BLVD STE 215
 CHICAGO, IL 60604
 312-225-5231

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

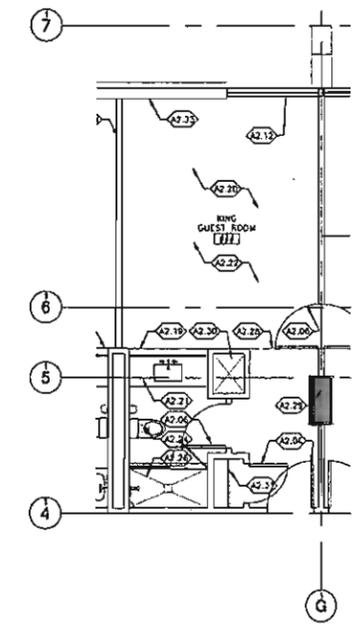
PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712



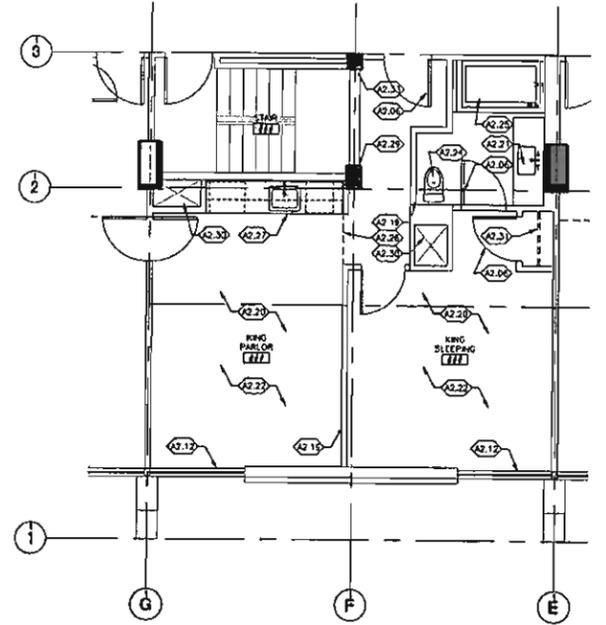
**3 BUILDING 01
 DOUBLE QUEEN SUITE PLAN**
 1/4" = 1'-0"



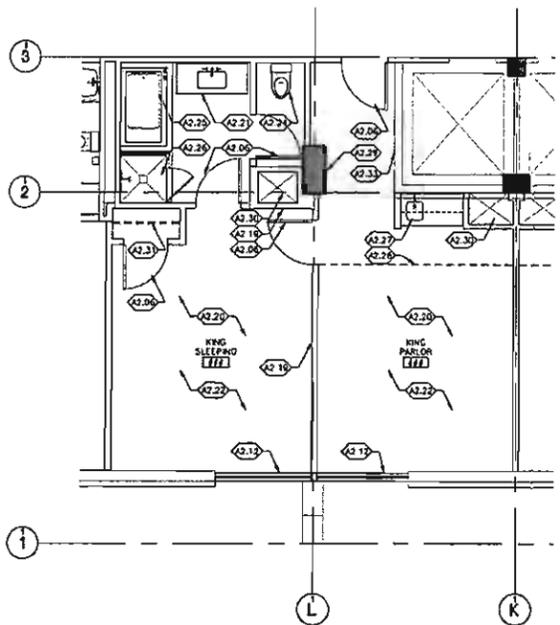
**2 BUILDING 01
 KING GUEST ROOM PLAN**
 1/4" = 1'-0"



**1 BUILDING 01
 KING GUEST ROOM PLAN**
 1/4" = 1'-0"



**5 BUILDING 01
 KING SUITE 2 PLAN**
 1/4" = 1'-0"



**4 BUILDING 01
 KING SUITE 1 PLAN**
 1/4" = 1'-0"

GENERAL NOTES

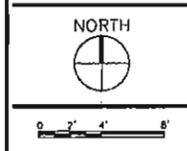
- PATCH, SCRAPE, PRIME PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOM FINISH SCHEDULE.
- SEE A-Finish SERIES DRAWINGS FOR TYPICAL MOUNTING HEIGHTS AND PLAN DETAILS.
- CENTER LIGHTS IN ROOMS UNLESS OTHERWISE NOTED.
- SEE SHEET A-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
- ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
- WHERE PARTITIONS ARE REMOVED, REPAIR AND PATCH CONCRETE SLAB AS NECESSARY TO RECEIVE SCHEDULED FINISH.
- TUCKPOINT ALL INTERIOR CMU PARTITIONS TO REMAIN.
- NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
- FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND H.L.C.
- UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GRAFFITI AND REFINISH.
- REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
- REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

KEYED NOTES

A2.01	PROVIDE PREFABRICATED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS.	A2.17	PROVIDE OPERABLE STORAGE/TYP SYSTEM.
A2.02	PROVIDE GRAY GREEN PANEL WALL SYSTEM OR EQUIVALENT. SEE ELEVATION.	A2.18	PROVIDE OPERABLE FOLDING PARTITION WALL, HANAWALL OR ARCHITECT APPROVED EQUAL.
A2.03	PROVIDE STOREFRONT SYSTEM, TYP.	A2.19	PROVIDE NEW LIGHT GAUGE METAL FRAMED GYPSUM BOARD PARTITION.
A2.04	RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO PULL WORKING ORDER.	A2.20	PROVIDE CARPET AND PAD. SEE SHEET A-20.
A2.05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.	A2.21	PROVIDE CUSTOM MILLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
A2.06	PROVIDE DOOR AND FRAME.	A2.22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2.07	PROVIDE TOILET PARTITION, TYP.	A2.23	PROVIDE NEW GLASS PARTITION.
A2.08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.	A2.24	PROVIDE HIGH-LOW FLUSH TOILET.
A2.09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.	A2.25	PROVIDE CUSTOM CERAMIC BATHTUB W/ PORCELAIN OR STONE TILE SURROUND.
A2.10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED / HANDIOPER AUTOMATIC ELECTRICAL FLUSH VALVE.	A2.26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENCLOSURE W/ CUSTOM FIXTURE AND GLASS DOOR AND DR. WALL.
A2.11	PROVIDE DRINKING FOUNTAINS AND ASSOCIATED PLUMBING.	A2.27	PROVIDE CUSTOM ALUMINUM KITCHENETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2.12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.	A2.28	LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
A2.13	PROVIDE CMU PARTITION.	A2.29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2.14	PROVIDE PRECAST CONCRETE MONUMENTAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.	A2.30	PROVIDE HEAT PUMP W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
A2.15	PROVIDE CAST IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.	A2.31	PROVIDE HANDRAILS ROD AND SHELF.
A2.16	OPENING IN CAST IN PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TPO OR EPDM ROOFING ON ROOF SLAB.	A2.32	PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CONCRETE FILLED TREADS AND PAINTED GALVANIZED STEEL HANDRAILS.
		A2.33	EXISTING PARTITIONS TO REMAIN.

REVISIONS

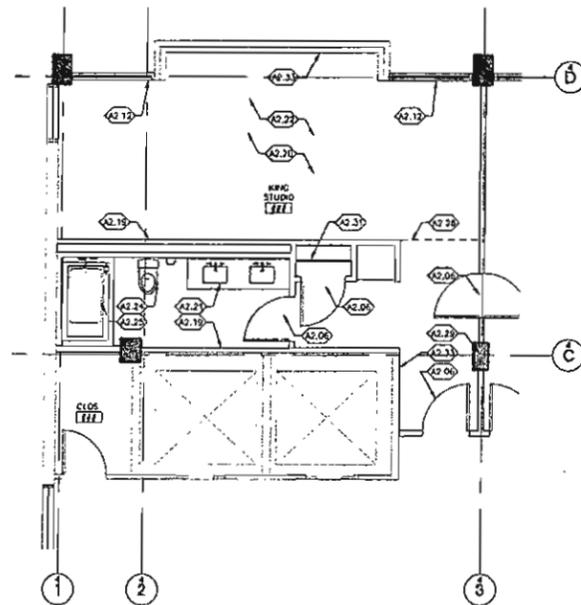
DATE	DESCRIPTION
	SCHEMATIC DESIGN



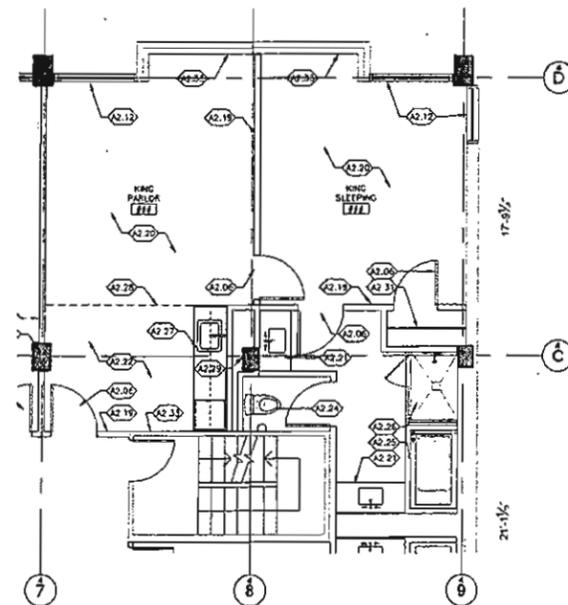
**BUILDING 01
 LEVELS 2-5
 TYPICAL PLAN**

DRAWING NO.
A.1-206

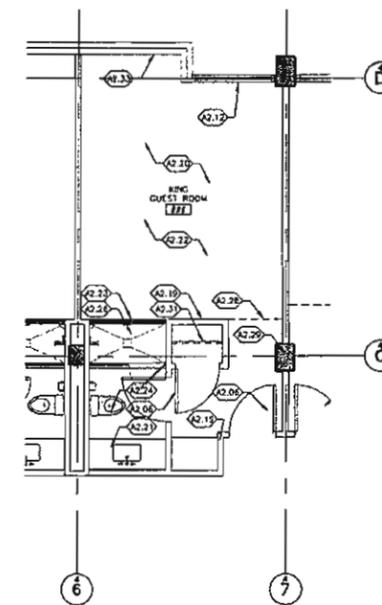
USER: _____
 PLOT SCALE: _____
 DATE: _____



**BUILDING 04
3 KING STUDIO PLAN**
1/4" = 1'-0"



**BUILDING 04
2 KING SUITE PLAN**
1/4" = 1'-0"



**BUILDING 04
1 KING GUEST ROOM PLAN**
1/4" = 1'-0"

GENERAL NOTES	
A	PATCH, SCRAPE, PRIME, PAINT ALL EXISTING WALLS TO REMAIN. SEE ROOMS FINISH SCHEDULE.
B	SEE AEPF SERIES DRAWINGS FOR TYPICAL LOCKING HEIGHTS AND PLAN DIAGRAMS.
C	CENTER LIGHTS IN ROOM UNLESS OTHERWISE NOTED.
D	SEE SHEET A-01 FOR TYPICAL FLOOR, WALL AND CEILING FINISHES.
E	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE.
F	WHERE PARTITIONS ARE RELOCATED, REPAIR AND PATCH CONCRETE GYPSUM BOARD AS NECESSARY TO RECEIVE SCHEDULED FINISH.
G	TRIM OUT ALL INTERIOR GLASS PARTITIONS TO REMAIN.
H	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS.
I	FURNITURE SHOWN DASHED IS FOR REFERENCE ONLY AND N.C.
J	UNLESS SPECIFICALLY INDICATED, WOOD WALL FINISHES ARE TO REMAIN. REMOVE ALL GYPSUM BOARD AND REPAIRS.
K	REMOVE ALL GYPSUM BOARD CEILING AND ASSOCIATED HANGERS AND FRAMING.
L	REMOVE ALL FLOOR FINISHES, ASSOCIATED MASTIC AND ALL OTHER EXISTING FLOORING MATERIALS DOWN TO STRUCTURAL SLAB.

KEYED NOTES	
A2-01	PROVIDE PREFINISHED ALUMINUM ENTRANCE CANOPY AND PAINTED GALVANIZED STEEL HANGERS.
A2-02	PROVIDE GORY GREEN PANEL WALL SYSTEM OR EQUIVALENT. SEE ELEVATION.
A2-03	PROVIDE STOREFRONT SYSTEM, TYP.
A2-04	RENOVATE EXISTING DOOR TO REMAIN. REPLACE ALL GLAZING AND HARDWARE. RETURN TO FULL WORKING ORDER.
A2-05	PROVIDE PAINTED GYPSUM BOARD PARTITION, TYP.
A2-06	PROVIDE DOOR AND FRAME.
A2-07	PROVIDE TOILET PARTITION, TYP.
A2-08	PROVIDE LAVATORY, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2-09	PROVIDE TOILET, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING.
A2-10	PROVIDE URINAL, TYP. SEE PLUMBING FOR CARRIER AND ASSOCIATED PLUMBING. PROVIDE POWERED / MANDATED AUTOMATIC FLUSH VALVE.
A2-11	PROVIDE DRINKING FOUNTAINS AND ASSOCIATED PLUMBING.
A2-12	PROVIDE NEW ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE, TYP.
A2-13	PROVIDE GLASS PARTITION.
A2-14	PROVIDE PRECAST CONCRETE MONO-CENTRAL STAIR ON PAINTED GALVANIZED STEEL STRUCTURE WITH STAINLESS STEEL GUARDRAILS AND HANDRAILS.
A2-15	PROVIDE CAST-IN PLACE CONCRETE SCREEN WALL WITH ELASTOMERIC COATING TO MATCH ARCHITECT'S CUSTOM COLOR.
A2-16	OPENING IN CAST-IN PLACE CONCRETE ROOF SLAB ABOVE. PROVIDE TYP. OR EPM ROOFING ON ROOF SLAB.

A2-17	PROVIDE OPERABLE STOREFRONT SYSTEM.
A2-18	PROVIDE OPERABLE, FOLDING PARTITION WALL, HORIZONTAL OR ARCHITECT'S APPROVED EQUAL.
A2-19	PROVIDE NEW LIGHT QUANT. METAL FRAMED GYPSUM BOARD PARTITION.
A2-20	PROVIDE CARPET AND PAD. SEE SHEET A-01.
A2-21	PROVIDE CUSTOM MILLWORK VANITY W/ CUSTOM LAVATORY AND FAUCET.
A2-22	PROVIDE CUSTOM LIGHT FIXTURES, TYP.
A2-23	PROVIDE NEW GLASS PARTITION.
A2-24	PROVIDE HIGH-CROWN FLUSH TOILET.
A2-25	PROVIDE CUSTOM CERAMIC BATHUB W/ PORCELAIN OR STONE TILE SURROUND.
A2-26	PROVIDE PORCELAIN OR STONE TILE SHOWER ENVELOPE W/ CUSTOM FIXTURE AND GLASS DOOR AND OR WALL.
A2-27	PROVIDE CUSTOM MILLWORK KITCHENETTE W/ STAINLESS STEEL APPLIANCES AND CUSTOM STAINLESS STEEL SINK AND FIXTURE.
A2-28	LINE OF GYPSUM BOARD CEILING DROP AND FRAMING ABOVE.
A2-29	EXISTING CAST-IN PLACE COLUMN TO REMAIN.
A2-30	PROVIDE HEAT PUMP W/ WALL RETURN, SEE MECHANICAL DRAWINGS.
A2-31	PROVIDE HANGING ROD AND SHELF.
A2-32	PROVIDE PRE-ASSEMBLED STEEL STAIR WITH CONCRETE FILLED TREADS AND PAINTED GALVANIZED STEEL HANGERS.
A2-33	EXISTING PARTITIONS TO REMAIN.



KEY PLAN



WEISS PROPERTIES, INC.
8170 McCormick Blvd., Suite 100
Skokie, Illinois 60076

KOZ AND ASSOCIATES LTD.
85 W. JACKSON BLVD. STE 213
CHICAGO, IL 60604
312-755-0668 FAX

Engineer 1

Engineer 2

Engineer 3

Engineer 4

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

Start By:

NORTH



0' 2' 4' 8'

**BUILDING 04
DETAILS
PLANS**

DRAWING NO.

A.4-208

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USER:

PLOT SCALE:

PLOT DATE:

KEY PLAN



WEISS PROPERTIES, INC
8170 McCormick Blvd, Suite 100
St. Louis, MO 63105



K&O AND ASSOCIATES LTD
30 W JACKSON BLDG STE 315
CHICAGO, IL 60604
TEL: 312-650-7111

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY:

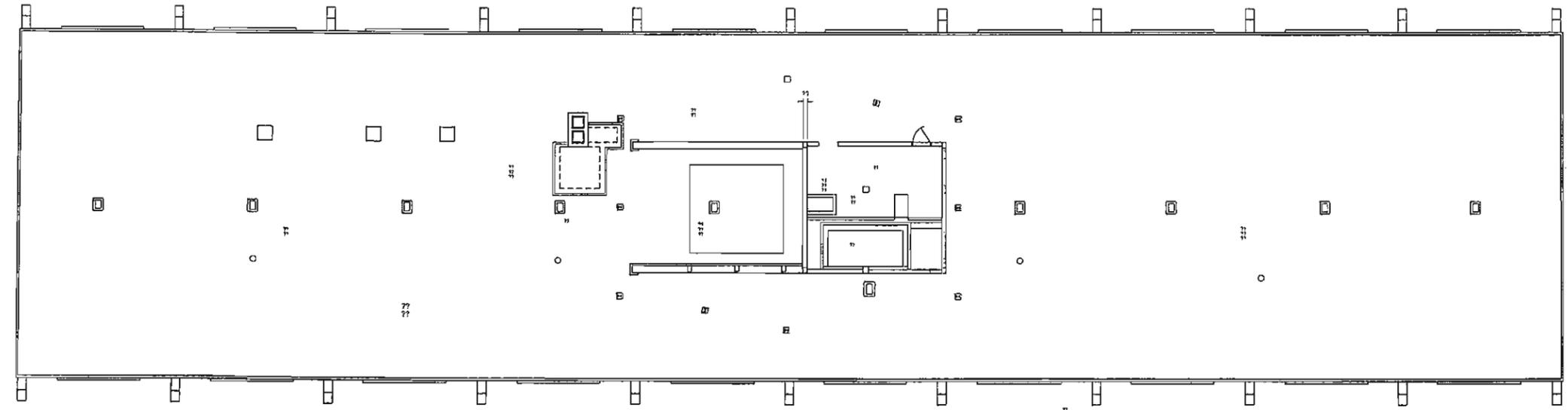


**BUILDING 01
ROOF PLAN**

DRAWING NO.

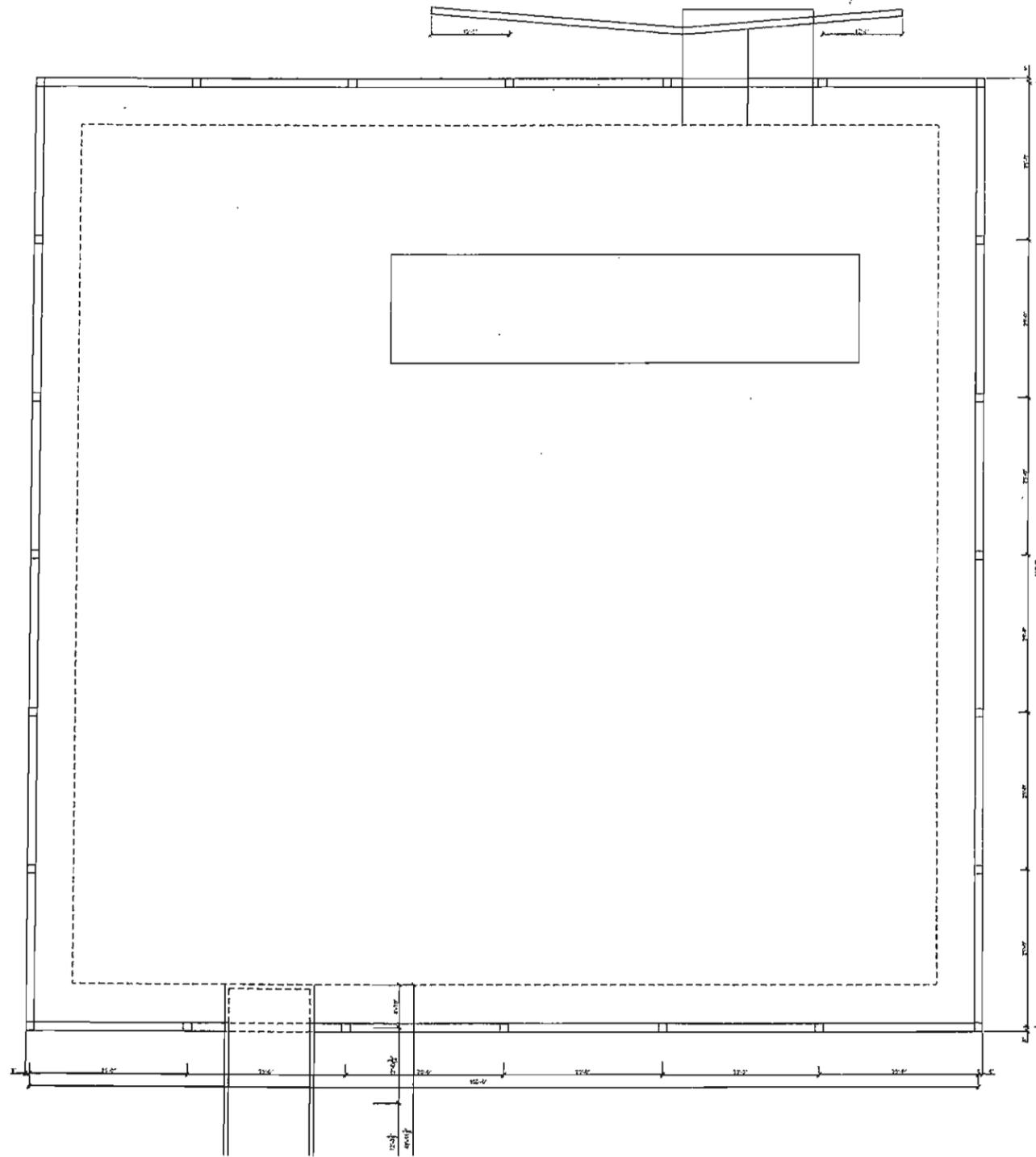
A.1-210

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**BUILDING 01
ROOF PLAN**
1/8" = 1'-0"

USER:
PLOT SCALE:
PLOT DATE:



PLOT DATE: _____
 PLOT SCALE: _____
 USER: _____

BUILDING 02
ROOF PLAN
1
 1/8" = 1'-0"

KEY PLAN



WEISS PROPERTIES, INC.
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076



K&O AND ASSOCIATES LTD.
 5511 JACKSON BLVD STE 715
 CHICAGO IL 60644
 312-226-0220 PH

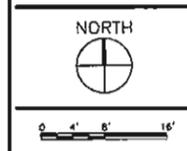
Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

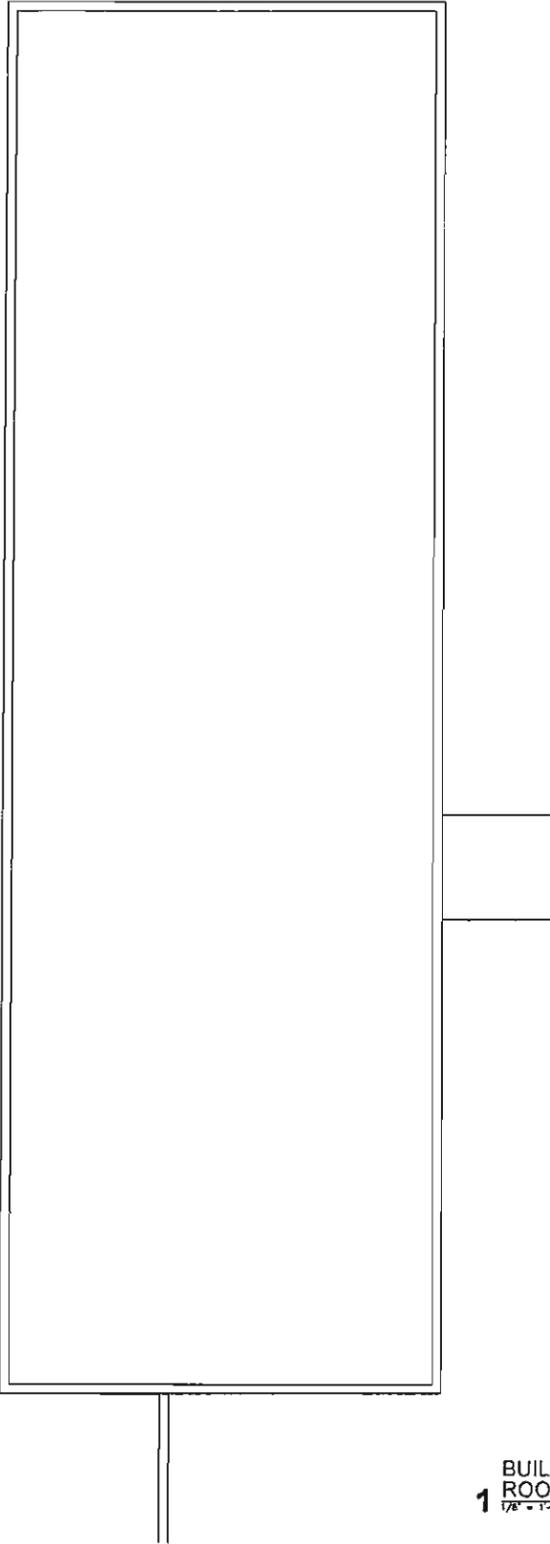
Drawn by: _____



BUILDING 02
ROOF PLAN

DRAWING NO.
A.2-210

PLOT DATE: _____
PLOT SCALE: _____
USER: _____



1 BUILDING 03
ROOF PLAN
1/8" = 1'-0"

KEY PLAN

WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
3319 JACKSON BLVD STE 215
CHICAGO IL 60654
312-735-6231

Engineer 1
STRUCTURAL ENGINEER

Engineer 2
CIVIL ENGINEER

Engineer 3
MEP ENGINEER

Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY: _____

NORTH

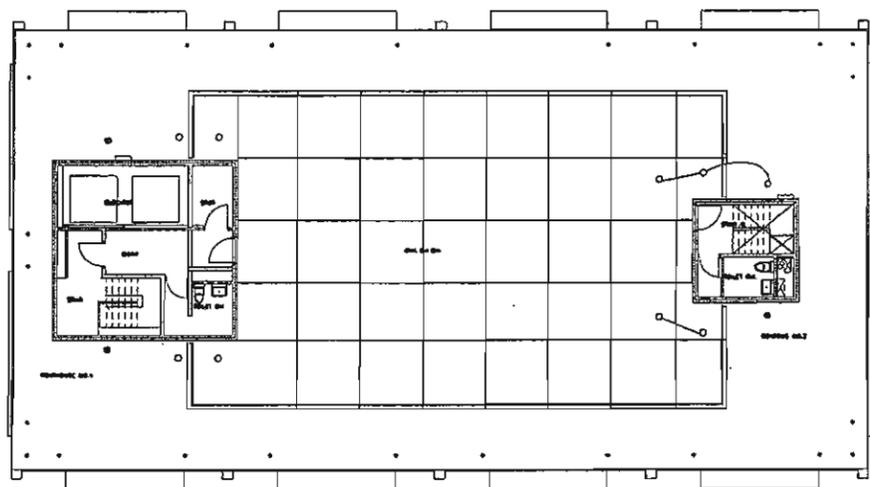
0 5' 10' 20'

BUILDING 03
ROOF PLAN

DRAWING NO.
A.3-210

© 2012 KOO AND ASSOCIATES LTD

USER:
PLOT SCALE:
PLOT DATE:



ROOF AND STRUCTURE PLAN

1 BUILDING 04
ROOF PLAN
1/8" = 1'-0"

KEY PLAN

WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
3311 JACKSON BLVD STE 216
CHICAGO, IL 60654
312-236-4700 FAX

Engineer 1
STRUCTURAL ENGINEER

Engineer 2
CIVIL ENGINEER

Engineer 3
MEP ENGINEER

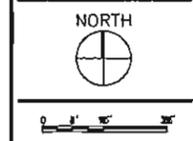
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

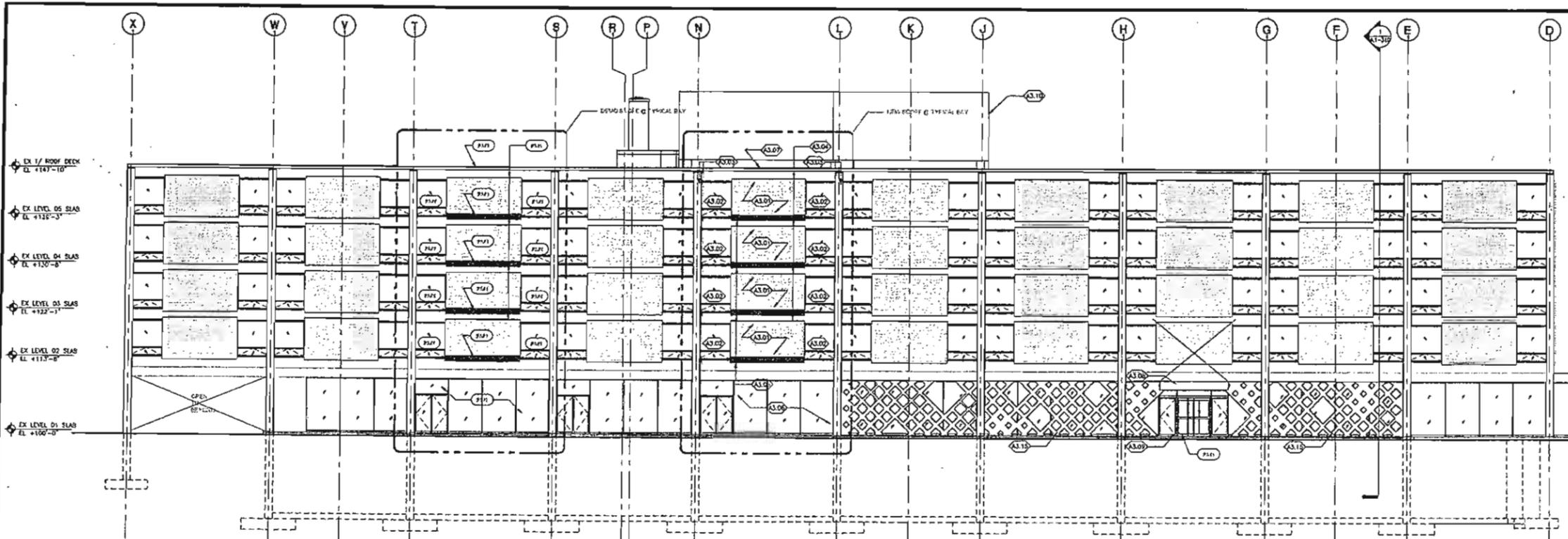
DATE	DESCRIPTION
	SCHEMATIC DESIGN

SCALE 1/8" = 1'-0"

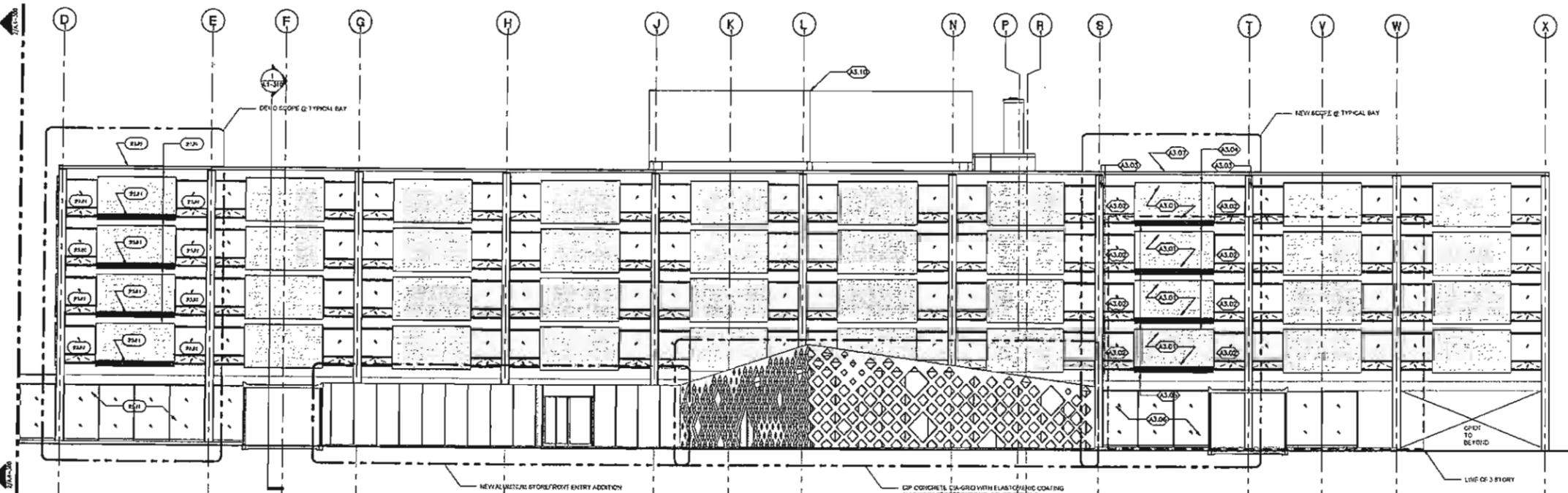


BUILDING 04
ROOF PLAN

DRAWING NO.
A.4-210



BUILDING 01
2 SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 01
1 NORTH ELEVATION
1/8" = 1'-0"

NO.	DESCRIPTION	NO.	DESCRIPTION
A	NOT ALL REVISIONS APPEAR ON ALL SHEETS	A3 05	REMOVE BRICKWORK WITH RAISED SIDING. PROVIDE BRICKWORK FULL 1/2" TO STRUCTURAL BACKUP FOR ALL HEIGHTS @ 16" O.C. PROVIDE BRICKWORK APPROXIMATE MATCHING RECONSTRUCTION WITH SEALANT. FINISH DAVE DRY EDGE AND CELL WEAT NEETS AT ALL LEVELS.
B	ALL FLOOR AND CEILING FINISHES TO MATCH EXISTING	A3 06	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
C	REMOVE EXISTING CONSTRUCTION MATERIALS AND PATCH AS NECESSARY TO MATCH ADJACENT AREAS	A3 07	PROVIDE PAINTED ALUMINUM GRATE @ 2" O.C. TO MATCH EXISTING FRONT LE.
D	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 08	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
E	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 09	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
F	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 10	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
G	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 11	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
H	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 12	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
I	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 13	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
J	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 14	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
K	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 15	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
L	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 16	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
M	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 17	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
N	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 18	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
O	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 19	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
P	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 20	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
Q	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 21	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
R	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 22	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
S	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 23	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
T	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 24	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
U	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 25	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
V	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 26	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
W	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 27	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
X	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 28	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
Y	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 29	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.
Z	REMOVE ALL EXISTING MATERIALS TO BE REPAIRED	A3 30	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING FRONT LE.

KEY PLAN
WEISS
PROFESSIONAL ENGINEERS
WEISS PROPERTIES, INC.
8170 McCormick Blvd., Suite 100
Skokie, Illinois 60075

HOOD AND ASSOCIATES LTD.
331 W. JACKSON BLVD. STE. 215
CHICAGO, ILL. 60604
312-220-0111

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

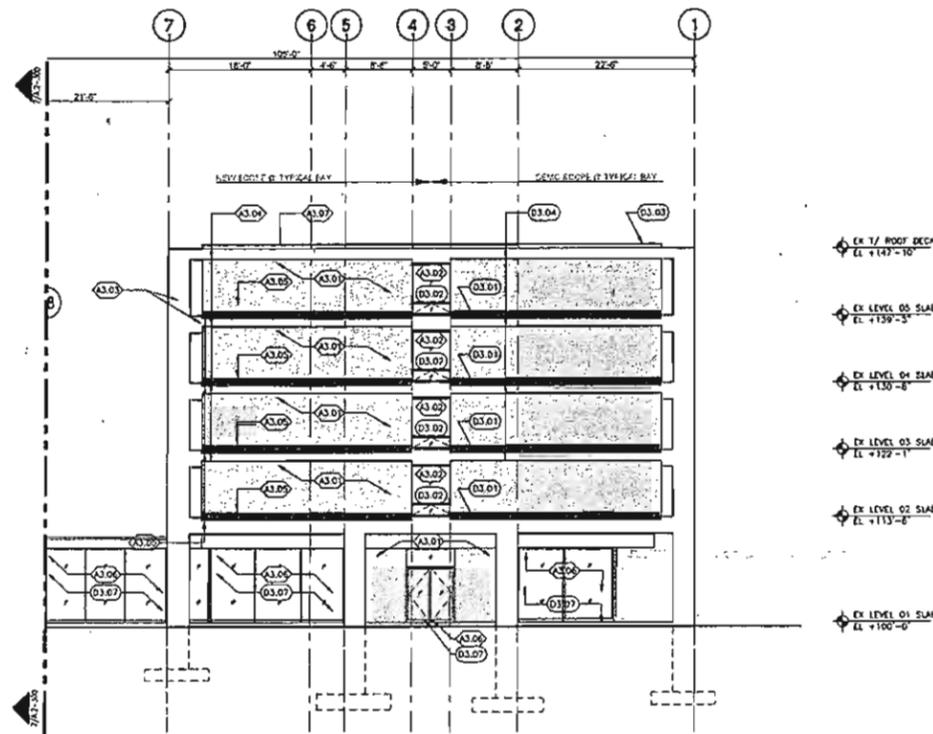
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DATE	DESCRIPTION
	SCHEMATIC DESIGN

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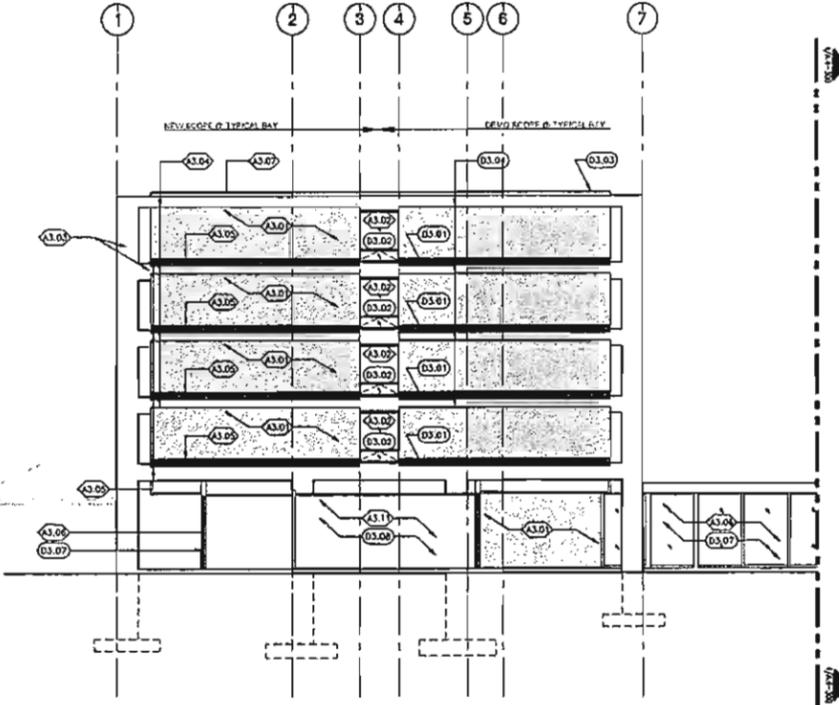
BUILDING 01
ELEVATIONS

DRAWING NO.
A.1-300

© 2012 HOOD AND ASSOCIATES LTD.



**BUILDING 01
WEST ELEVATION**
1/8" = 1'-0"



**BUILDING 01
EAST ELEVATION**
1/8" = 1'-0"

KEY PLAN

WEISS
ARCHITECTS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

ROO AND ASSOCIATES LTD
35 W. JACKSON BLVD STE 215
CHICAGO, IL 60604
312-226-0229 FAX

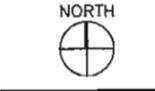
Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DATE:



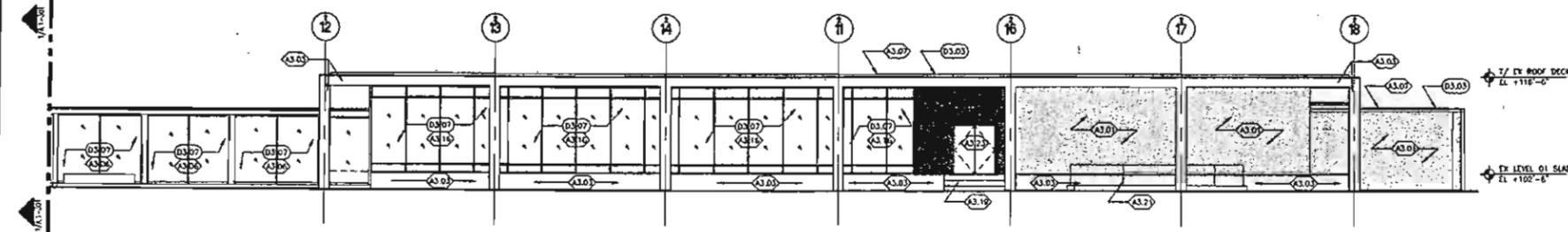
**BUILDING 01
ELEVATIONS**

DRAWING NO.

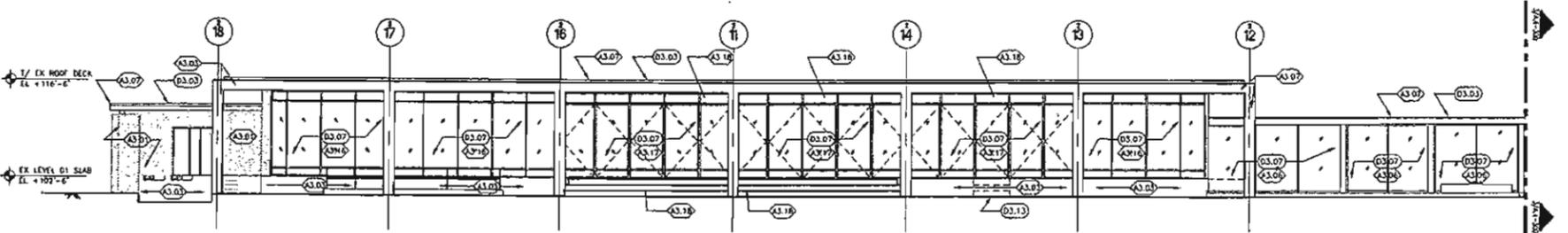
A.1-301

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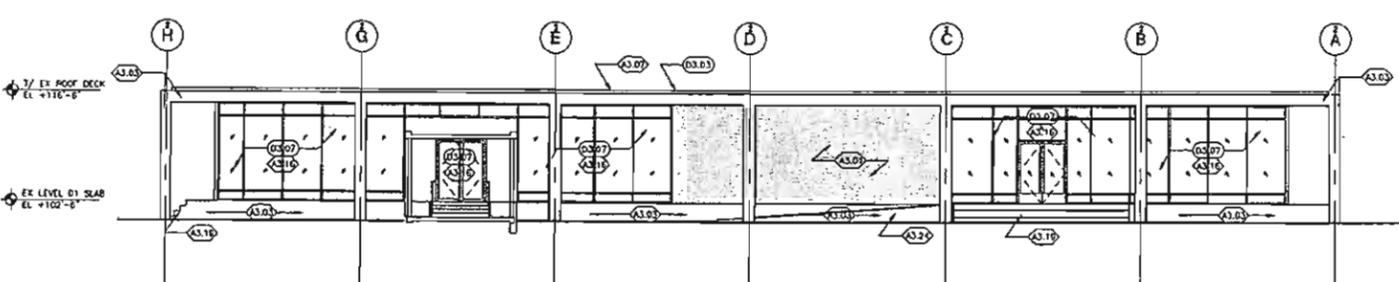
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PLOT DATE: _____



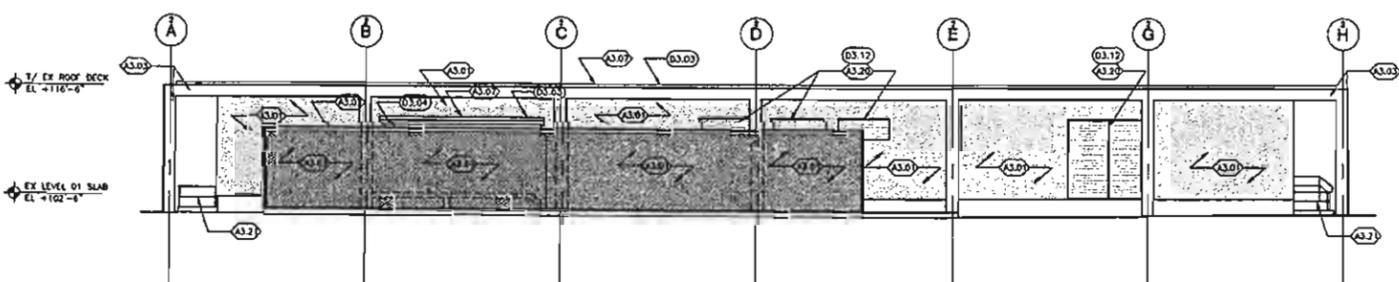
4 BUILDING 02 EAST ELEVATION
1/8" = 1'-0"



3 BUILDING 02 WEST ELEVATION
1/8" = 1'-0"



2 BUILDING 02 SOUTH ELEVATION
1/8" = 1'-0"



1 BUILDING 02 NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES	
A	NOT ALL KEYED NOTES APPEAR ON ALL SHEETS
B	ALL ITEMS ARE TO BE NEW UNLESS NOTED OTHERWISE
C	WHERE EXISTING CURB TOLERANCE IS REMOVED, REPAIR AND PATCH AS NECESSARY TO MATCH ADJACENT AREAS
D	TUCKPOINT: ALL MASONRY PARTITIONS TO REPAIR
KEYED NOTES: REVISCOPE	
A3.01	GRIND AND TUCKPOINT ALL MASONRY. REPLACE CRACKED OR CHIPPED UNITS WITH NEW TO MATCH EXISTING PROFILE. COLOR AND COURSEING TO MATCH EXISTING MASONRY WHEN COMPLETE.
A3.02	PROVIDE ANODIZED ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE.
A3.03	SCRAPE, LOGGE, PAINT, CLEAN AND REMOVE EXISTING SEALANT FROM ALL EXPOSED TOP OF CONCRETE SURFACES. ALL BAYS FOR CRACKS + 1/2" R/W AND APPLY 1/2" BEAD ELASTIC SEALANT. PROVIDE ELASTOMERIC COATING AT ALL SURFACES. APPLY SEALANT AND BACKER ROD AT ALL BUILDING JOINTS.
A3.04	PROVIDE 1/2" STEEL FLASHING AND Drip EDGE.
A3.05	REMOVE ALL MASONRY WITH SALVAGED UNITS. ENCASE STAINLESS STEEL TIES TO STRUCTURAL BACKUP FOR ALL WORK @ 16" O.C. PROVIDE BLACK BITUMEN ASPHALT FLASHING, TERMINATION GARG WITH SEALANT, AND DRAIN Drip EDGES AND COLL. VENT KEEP AT ALL LEVELS.
A3.06	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING PROFILE.
A3.07	PROVIDE FINISHED ALUMINUM GRAVEL STOP AND Drip EDGE TO MATCH EXISTING PROFILE.
A3.08	PROVIDE ALUMINUM COMPOSITE METAL PANEL ANCHORS AND S-GARDE ATTACH TO EXISTING STRUCTURE. STEEL POINTS AT LEVEL 03 WITH PAINTED STEEL END.
A3.09	PROTECT STAINLESS STEEL REVOLVING DOOR WITH 2" Drip DOORS. IN RICE DOOR TO HAVE ADA OPERATOR WITH SOLID ENCASED ACTUATOR.
A3.10	SCRAPE, CLEAN AND PAINT EXISTING MECHANICAL ENCLOSURE.
A3.11	PROVIDE INTERIOR PARTITION CEILING AND FINISHES. SEE PLANS.
A3.12	PROVIDE ALUMINUM COMPOSITE METAL PANEL, INSULATION AND SEALANT.
A3.13	PROVIDE EPS R/FILL ON METAL STUD.
A3.14	SCRAPE, SAND, PRIME AND PAINT EXISTING DOOR AND FRAME. PROVIDE 1/2" MASONRY.
A3.15	PROVIDE "B-CAT" GREEN WALL PANEL SYSTEM OR EQUIVALENT.
A3.16	PROVIDE ANODIZED ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM COMPOSITE PANEL, R/FILL BLUPEE AND LOWER LITE.
A3.17	PROVIDE FRAME WALL OR CORNER LITE OPERABLE ANODIZED ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM COMPOSITE PANEL, R/FILL AND LOWER LITE.
A3.18	PROVIDE STRUCTURAL HEADER WITH ALUMINUM COMPOSITE PANEL R/FILL.
A3.19	PROVIDE CIP CONCRETE STOP WITH STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS R/FILL PANELS.
A3.20	PROVIDE ANODIZED ALUMINUM COVER.
A3.21	PROVIDE STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS R/FILL PANELS.
A3.22	PROVIDE NEW MASONRY. MATCH EXISTING PROFILE, COLOR AND COURSEING.
A3.23	PROVIDE PAINTED STEEL DOOR AND FRAME.
A3.24	PROVIDE CIP CONCRETE ADA RAMP WITH STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS R/FILL PANELS.
KEYED NOTES: DEMOLITION	
D3.01	REMOVE LITE BY REMOVING GLAZED MASONRY. SALVAGE MASONRY FOR REUSE. EQUIPE AND PART LITE WITH STRUCTURAL STEEL. 2" Drip R/W. PREPARE IF LITE OR ANCHORS HAVE GREATER THAN 25% SECTION LOSS. REPLACE WITH NEW GALVANIZED STEEL.
D3.02	REMOVE EXISTING WINDOW SYSTEM FLASHING, SEALANT AND BLOCKING.
D3.03	REMOVE EXISTING GRAVEL STOP AND Drip EDGE.
D3.04	REMOVE EXISTING FLASHING AND Drip EDGE.
D3.05	REMOVE EXISTING VESTIBULE, INCLUDING ALL STOREFRONT AND MASONRY.
D3.06	REMOVE EXISTING PAINTED ALUMINUM INSULATED PANEL AND FRAME (BELOW).
D3.07	REMOVE EXISTING STOREFRONT.
D3.08	REMOVE EXISTING INTERIOR PARTITION, CEILING AND ALL FINISHES. SEE PLANS.
D3.09	REMOVE EXISTING CEILING PLASTER SOFFIT, TRUSS AND INSULATION.
D3.10	REMOVE AND SALVAGE BOTTOM COURSEING. REMOVE EXISTING FLASHING, Drip AND TE R/W BAR.
D3.11	REMOVE EXISTING CIP CONCRETE STOP AND RAILING. PATCH FLOOR TO MATCH ADJACENT.
D3.12	REMOVE EXISTING LOWER AND FLASHING.

KEY PLAN

WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

ADD AND ASSOCIATES LTD.
1315 ANDERSON BLVD STE 103
CHICAGO, IL 60607
312-350-6500

- Engineer 1 **STRUCTURAL ENGINEER**
- Engineer 2 **CIVIL ENGINEER**
- Engineer 3 **M/E ENGINEER**
- Engineer 4 **EXTRA ENGINEER**

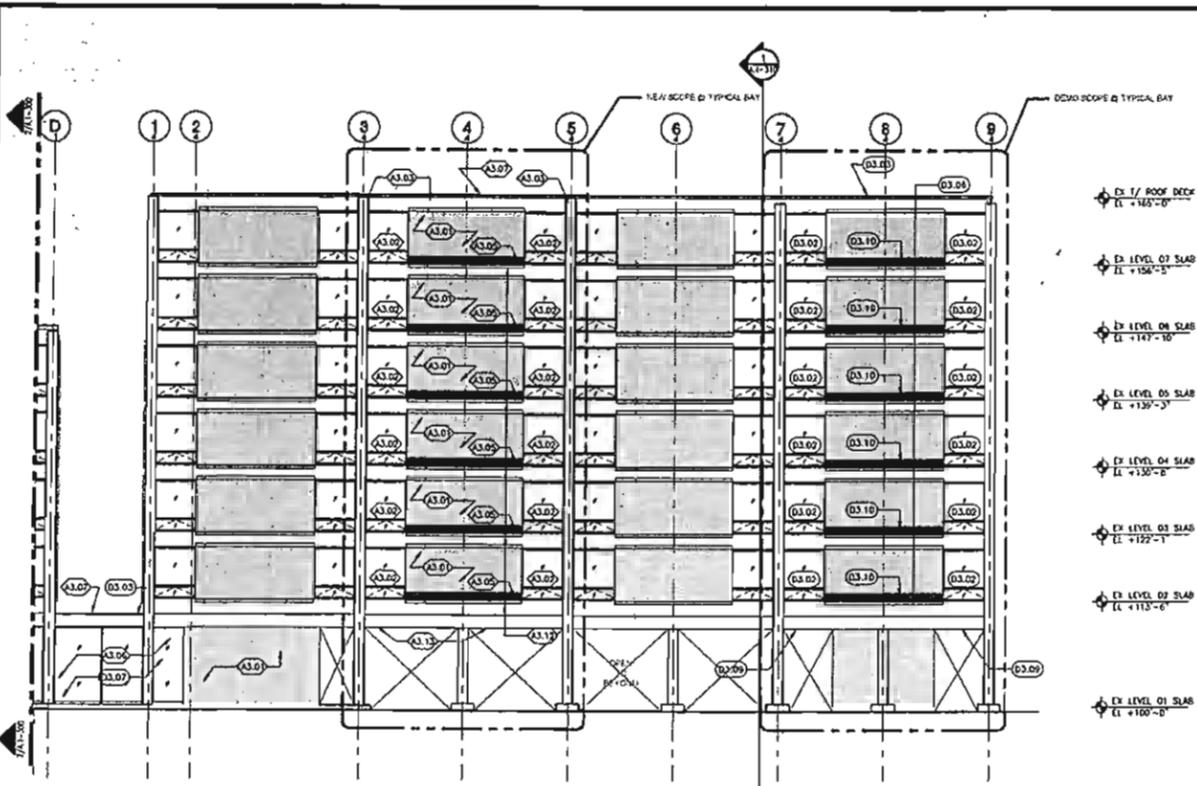
PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

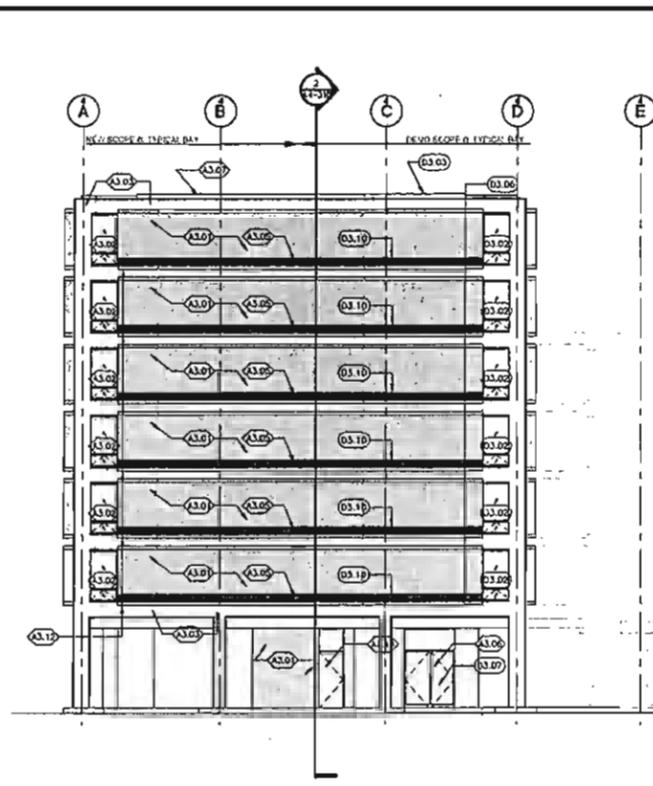


BUILDING 02 ELEVATIONS

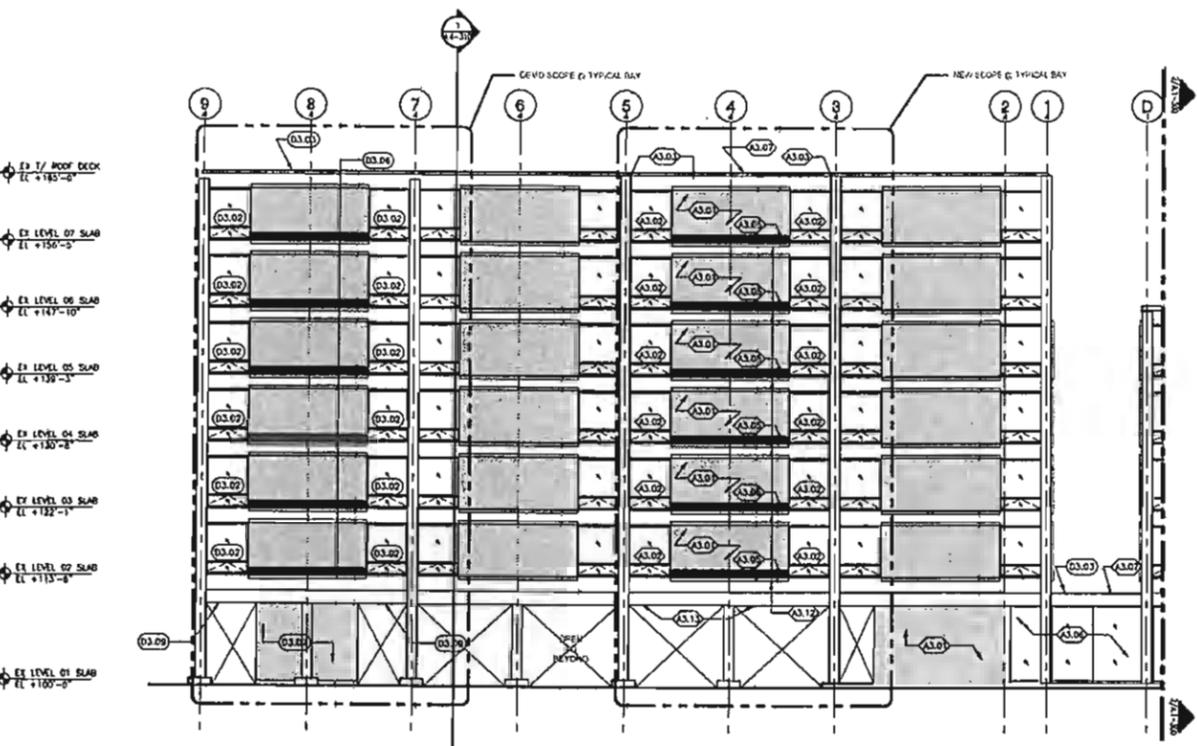
DRAWING NO.
A.2-300



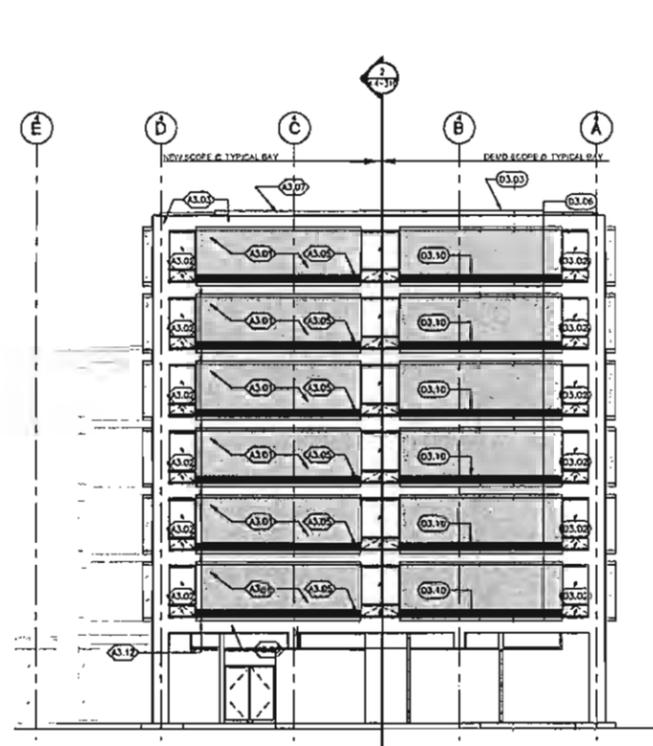
BUILDING 04 SOUTH ELEVATION
1/8" = 1'-0"



BUILDING 04 EAST ELEVATION
1/8" = 1'-0"



BUILDING 04 NORTH ELEVATION
1/8" = 1'-0"



BUILDING 04 WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES	
A	NOT ALL REVISIONS APPEAR ON ALL SHEETS
B	ALL TEARS ARE TO BE REPAIRS UNLESS NOTED OTHERWISE
C	WHERE EXISTING CONSTRUCTION IS REMOVED REPAIR AND PATCH AS NECESSARY TO MATCH ADJACENT AREAS
D	TUCKPOINT ALL MASONRY PARTITIONS TO REMAIN
KEYED NOTES: NEW SCOPE	
A3.01	GRIND AND TUCKPOINT ALL MASONRY. REPLACE CRACKED OR OFFED UNITS WITH NEW TO MATCH EXISTING PROFILE, COLOR AND COURSEWORK MASONRY WHEN COORDINATE.
A3.02	PROVIDE ANHODDED ALUMINUM WINDOW SYSTEM WITH OPERABLE HOPPER TO MATCH EXISTING PROFILE
A3.03	REMOVE LOOSE PAINT, CLEAR AND REMOVE EXISTING SEALANT FROM ALL EXPOSED JOINTS OF CONCRETE SURFACES. ALL BAYS FOR CRACKS > 1/2" FILL AND APPLY HIGH-SAG URETHANE SEALANT. PROVIDE ELASTOMERIC COATING AT ALL SURFACES. APPLY SEALANT AND ECKER ROD AT ALL ISOLATION JOINTS
A3.04	REMOVE EXISTING FLASHING AND DRIP EDGE
A3.05	RE-BUILD MASONRY WITH GALVANIZED UNITS. PROVIDE STAINLESS STEEL TIES TO STRUCTURAL BACKUP FOR ALL WORK @ 16" O.C. PROVIDE FINISHED ASPHALT FLASHING, TERMINATION BARS WITH SEALANT, EGD DAMS, CRIP EDGES AND CELL VENT VEEPS AT ALL LEVELS
A3.06	PROVIDE ANHODDED ALUMINUM STOREFRONT SYSTEM TO MATCH EXISTING PROFILE
A3.07	PROVIDE PAINTED ALUMINUM GRAVEL STOP AND DRIP EDGE TO MATCH EXISTING PROFILE
A3.08	PROVIDE ALUMINUM COMPOSITE METAL PANEL FINISH AND SURFACE AT ALL EXISTING STRUCTURAL STEEL JOINTS AT LEVEL 03 WITH PAINTED STEEL ROD
A3.09	PROVIDE STAINLESS STEEL REVOLVING DOOR WITH (2) SIDE DOORS (1) SIDE DOOR TO HAVE ADA COMPLIANT WITH INCLINED UNLATCHED ACTUATION
A3.10	SCRAPE, CLEAR AND PAINT EXISTING METAL PANELS
A3.11	PROVIDE LITEWOOD PARTISAN, CEILING AND FRAMES. SEE PLAN
A3.12	PROVIDE ALUMINUM COMPOSITE METAL PANEL, INSULATION AND SEALANT
A3.13	PROVIDE EFTS BRILL OIL-PAV STUD
A3.14	SCRAPE, SAND, PRIME AND PAINT EXISTING DOOR AND FRAME. PROVIDE 18" MIN. HEIGHT
A3.15	PROVIDE "G-SKY" GREEN WALL PANEL SYSTEM ON LOUVELL
A3.16	PROVIDE ANHODDED ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM COMPOSITE PANEL INFILL UPPER AND LOWER LITE
A3.17	PROVIDE MASONRY OR EQUIVALENT OPERABLE ANHODDED ALUMINUM STOREFRONT SYSTEM WITH ALUMINUM COMPOSITE PANEL INFILL IN LOWER LITE
A3.18	PROVIDE STRUCTURAL HEADER WITH ALUMINUM COMPOSITE PANEL INFILL
A3.19	PROVIDE GIP CONCRETE STOOD WITH STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS INFILL PANELS
A3.20	PROVIDE ANHODDED ALUMINUM LOUVER
A3.21	PROVIDE STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS INFILL PANELS
A3.22	PROVIDE MASONRY MATCH EXISTING PROFILE, COLOR AND COURSEWORK
A3.23	PROVIDE PAINTED METAL DOOR AND FRAME
A3.24	PROVIDE GIP CONCRETE ADA RAMP WITH STAINLESS STEEL GUARD AND RAIL WITH SANDBLASTED TEMPERED GLASS INFILL PANELS
KEYED NOTES: EXISTING SCOPE	
D3.01	EXPOSE UNITS BY REMOVING GLAZED MASONRY. GALVANIZE MASONRY OR REUSE. SCRAPE AND PAINT UNITS WITH STRUCTURAL STEEL. EGD RICH FRAMES. IF UNITS OR ANCHORS HAVE GREATER THAN 1/8" SECTION LOSS REPLACE WITH NEW GALVANIZED STEEL
D3.02	REMOVE EXISTING WINDOW SYSTEM, FLASHING, SEALANT AND BLOODING
D3.03	REMOVE EXISTING GRAVEL STOP AND DRIP EDGE
D3.04	REMOVE EXISTING FLASHING AND DRIP EDGE
D3.05	REMOVE EXISTING VENTRIE, INCLUDING ALL STOREFRONT AND CANOPY
D3.06	REMOVE EXISTING PAINTED ALUMINUM INSULATED PANEL AND FRAMING (BELOW)
D3.07	REMOVE EXISTING STOREFRONT
D3.08	REMOVE EXISTING INTERIOR PARTITIONS, CEILING AND ALL FINISHES. SEE PLANS
D3.09	REMOVE EXISTING CEMENTIOUS PLASTER SOFFIT, FRAMING AND INSULATION
D3.10	REMOVE AND SALVAGE BOTTOM COURSEWORK. REMOVE EXISTING FLASHING, DRIP AND TERRA BAL
D3.11	REMOVE EXISTING GIP CONCRETE STOOD AND RAILING. PATCH TYPICALLY TO MATCH ADJACENT
D3.12	REMOVE EXISTING LOUVER AND FRAMING

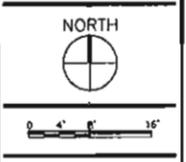
KEY PLAN

 WEISS ENGINEERS, INC.
 8170 McCormick Blvd., Suite 100
 Skokie, Illinois 60076

Engineer 1
 Structural Engineer
 Engineer 2
 Civil Engineer
 Engineer 3
 MEP Engineer
 Engineer 4
 Extra Engineer

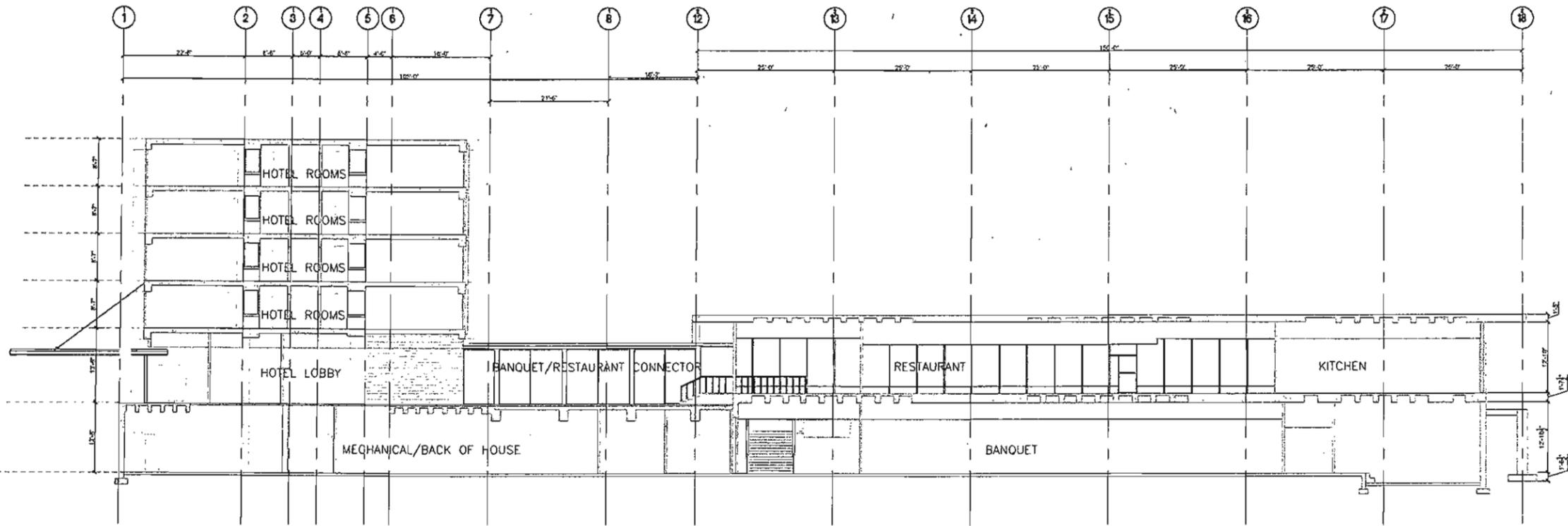
PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



BUILDING 04 ELEVATIONS

DRAWING NO.
A.4-300



1 BUILDING 01/02
EXISTING SECTION
1/8" = 1'-0"

KEY PLAN

WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
3511 JANDSON BLVD STE 215
CHICAGO, IL 60641
312.294.9250 FAX

- Engineer 1
STRUCTURAL ENGINEER
- Engineer 2
CIVIL ENGINEER
- Engineer 3
MEP ENGINEER
- Engineer 4
EXTRA ENGINEER

PURPLE HOTEL

4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN

DATE: _____

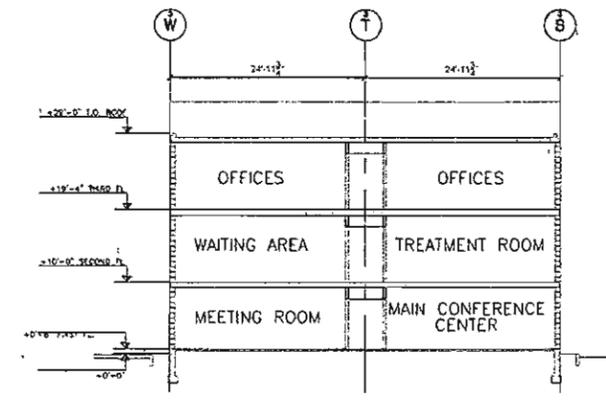


BUILDING
01/02
SECTIONS

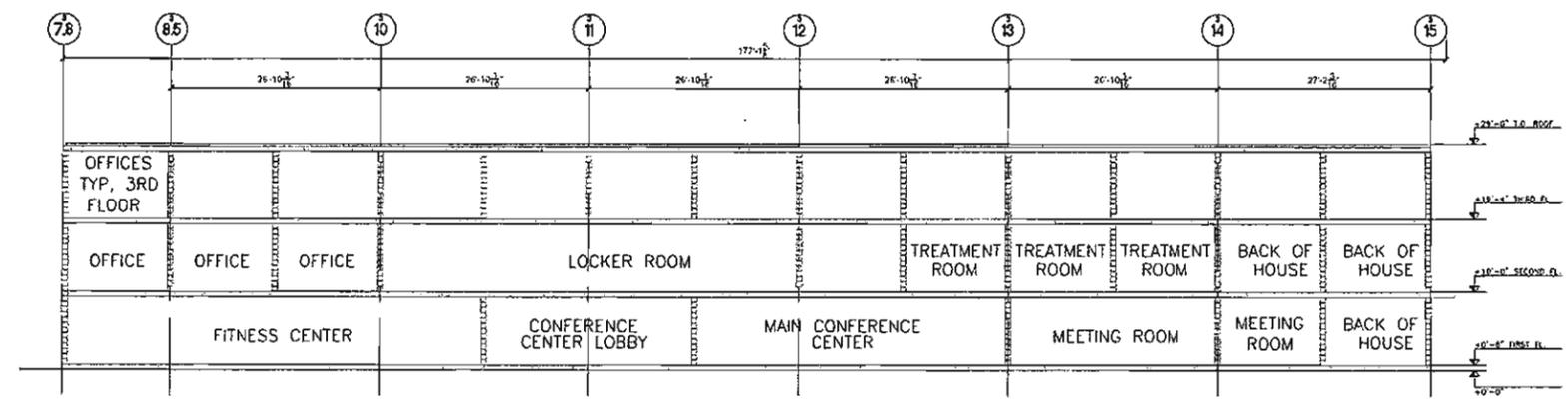
DRAWING NO.

A.1-310

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



**BUILDING 03
1 TRANSVERSE SECTION**
1/8" = 1'-0"



**BUILDING 03
2 LONGITUDINAL SECTION**
1/8" = 1'-0"

KEY PLAN

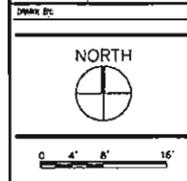
WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd. Suite 100
Skokie, Illinois 60076

K20 AND ASSOCIATES LTD
35 W JACKSON BLVD STE 211
CHICAGO IL 60604
312-235-2500

- Engineer 1 STRUCTURAL ENGINEER
- Engineer 2 CIVIL ENGINEER
- Engineer 3 MEP ENGINEER
- Engineer 4 EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

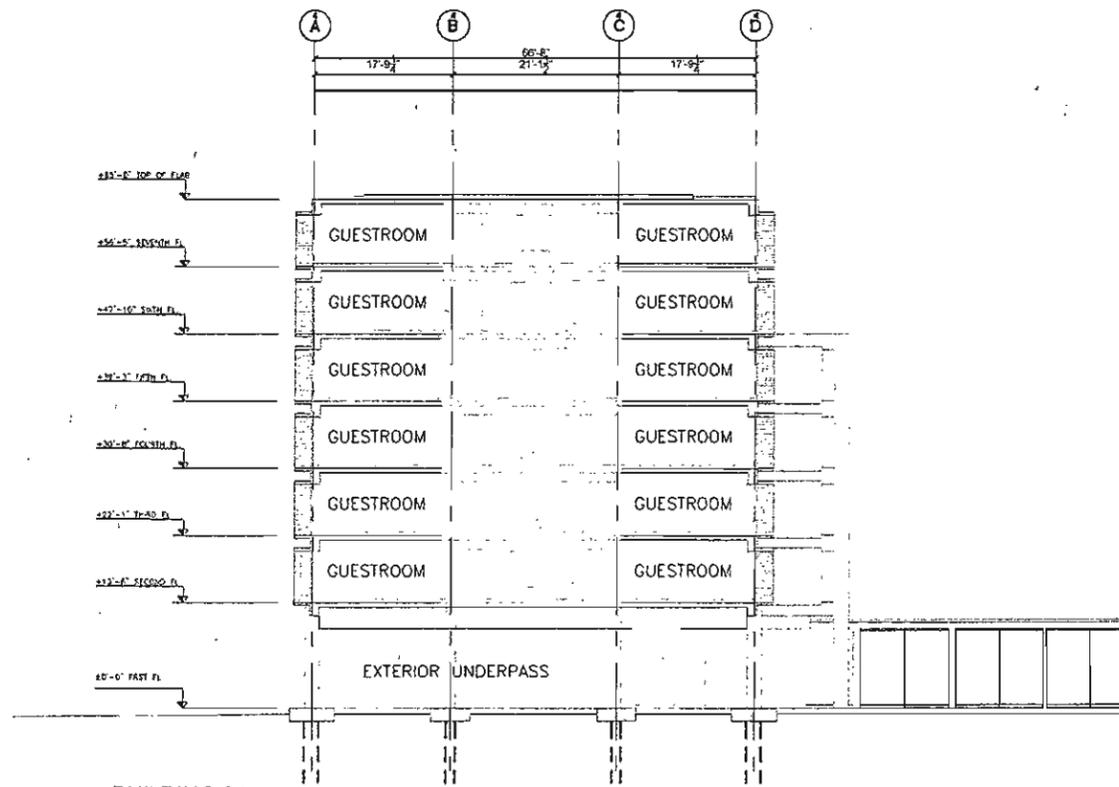
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DATE	DESCRIPTION
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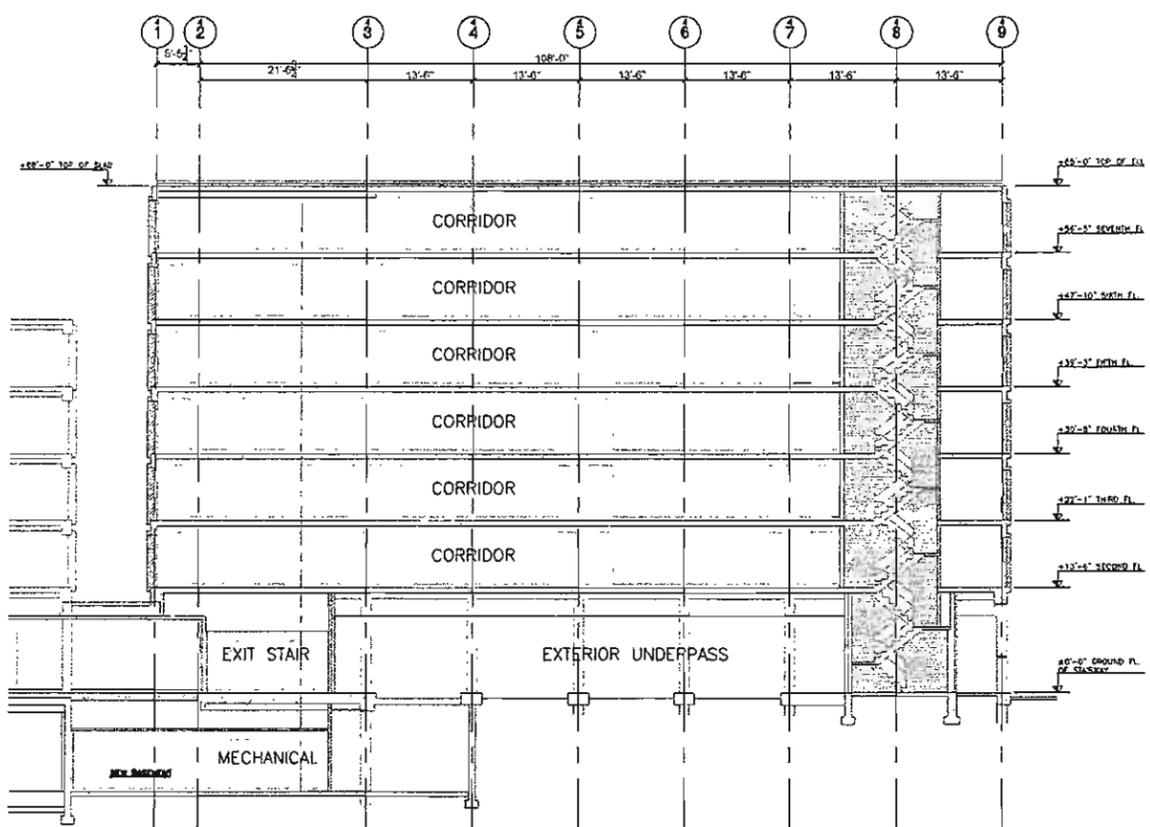
**BUILDING 03
BUILDING
SECTIONS**

DRAWING NO.
A.3-310

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



**BUILDING 04
1 TRANSVERSE SECTION**
1/8" = 1'-0"



**BUILDING 04
2 LONGITUDINAL SECTION**
1/8" = 1'-0"

KEY PLAN
WEISS
WEISS PROPERTIES, INC.
8170 McCormick Blvd, Suite 100
Skokie, Illinois 60076

KOO AND ASSOCIATES LTD.
50 W JACKSON BLDG STE 215
CHICAGO, ILL 60604
312-734-0033 PH

Engineer 1
STRUCTURAL ENGINEER
Engineer 2
CIVIL ENGINEER
Engineer 3
MEP ENGINEER
Engineer 4
EXTRA ENGINEER

PURPLE HOTEL
4500 Touhy Ave
Lincolnwood, IL 60712

REVISIONS

DATE	DESCRIPTION
	SCHEMATIC DESIGN



**BUILDING 04
BUILDING
SECTIONS**

DRAWING NO.
A.4-310

VITER:
 PLOT SCALE:
 PLOT DATE:

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____

GUESTROOMS:
CLASS 'A' WALLCOVERING THROUGHOUT
PROFILED 6" ARCHITECTURE VINYL BASE OR ARCHITECT APPROVED EQUAL
PAINTED GYPSUM BOARD CEILING WITH HAND-TIRED CUSTOM SCOUNCE OR CEILING FIXTURE AT ENTRY
CEILING FIXTURES INCLUDE A HAND-TIRED CUSTOM CEILING-MOUNTED FIXTURE WITHIN ROOM
HAND-TIRED SCOUNCE AND CEILING FIXTURE AT BATHROOM
CUSTOM PATTERN AND COLOR BROADLOOM CARPET THROUGHOUT
SOLID-COLOR WOOD DOORS WITH CUSTOM PROFILE AND FINISH ON ALL DOORS INCLUDING GUEST DOORS
STONE THRESHOLDS AT ALL DOORS
MERMAID FLUSH TOILETS
PORCELAIN OR STONE TILE THROUGHOUT THE BATHROOMS
CLEAR GLASS SHOWER DOORS
CUSTOM MILLWORK VANITY WITH STONE AND A SPECIALTY LAVATORY
CORRIDORS:
CARD READERS ON ALL ENTRY DOORS AND ECH DOORS
CLASS 'A' WALLCOVERING THROUGHOUT
ASTROTIZER CARPET AND PAD
PAINTED GYPSUM BOARD CEILING WITH CAN LIGHT AND CUSTOM SCOUNCES THROUGHOUT
ADDITIONAL LIGHTING AT DOOR DROPS
PAINTED CUSTOM PROFILE WOOD BASE
FINISHED STAINLESS STEEL CUSTOM SIGNAGE THROUGHOUT
PUBLIC AREAS:
PORCELAIN OR STONE TILE WITH ASTROTIZER CARPET INSERTS
CLASS 'A' WALLCOVERING AND SPECIALTY EQUAL THREE-LEVEL THROUGHOUT
SOFT VELVET WALLS
PAINTED GYPSUM BOARD CEILING WITH CAN LIGHT
CUSTOM OVERSIZED CEILING-MOUNTED LIGHT FIXTURES AND SCOUNCES
EXECUTIVE CONFERENCE CENTER:
CUSTOM PATTERN AND COLOR BROADLOOM CARPET THROUGHOUT
CUSTOM MILLWORK ON ONE WALL OF EACH ROOM
ACOUSTIC CEILING TILES (PERFECTED AND PROFILE TYPE)
CLASS 'A' WALLCOVERING
MILLWORK VANITY IN LARGE CONFERENCE ROOMS
POOL:
PORCELAIN TILE THROUGHOUT
PAINTED MOISTURE-RESISTANT GYPSUM BOARD CEILING WITH CAN LIGHTS
CUSTOM SCOUNCES
BANQUET:
FOLDING PARTITIONS WITH CLOTH FABRIC
PORCELAIN AND STONE TILE
PAINTED GYPSUM BOARD CEILING WITH CAN LIGHTS
CUSTOM OVERSIZED CEILING-MOUNTED LIGHT FIXTURES AND SCOUNCES
CUSTOM PATTERN AND COLOR BROADLOOM CARPET THROUGHOUT
PUBLIC BATHROOMS:
FRAMED GYPSUM BOARD PARTITIONS WITH WOOD DOORS AT TOILETS
PORCELAIN TILE THROUGHOUT, FULL HEIGHT WALLS
CUSTOM STONE VANITIES
CUSTOM CEILING-MOUNTED PENDANT ABOVE VANITIES
FITNESS ROOM:
CLASS 'A' WALLCOVERING
SPORTS FLOOR
PAINTED SMOOTH FINISH PLASTER WITH COAT CEILING

KEY PLAN
WEISS
 WEISS PROPERTIES, INC.
 8170 McClellan Blvd. Suite 100
 Skokie, Illinois 60076

KOO AND ASSOCIATES LTD
 35 W. JACKSON BLVD. STE. 211
 CHICAGO, IL 60604
 312-726-6679

Engineer 1
 ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MECHANICAL ENGINEER
 Engineer 4
 EXTRA ENGINEER

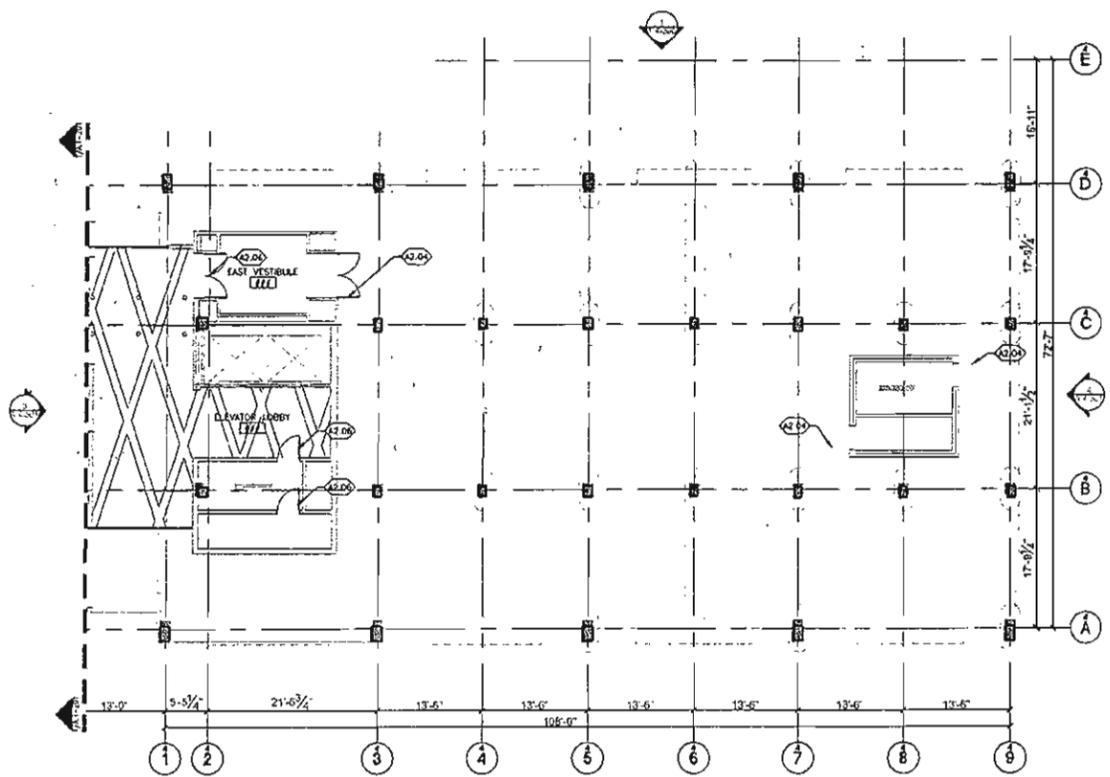
PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN

DRAWN BY: _____

FINISH SCHEDULE

DRAWING NO.
A-500



BUILDING 04
LEVEL 01 PLAN
 1/8" = 1'-0"



KEY PLAN

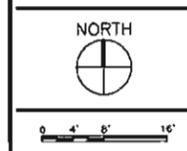
WEISS
 WEISS PROPERTIES, INC
 8170 McCormick Blvd, Suite 100
 Skokie, Illinois 60076

ROO AND ASSOCIATES LTD
 55 W. JACKSON BOYD STE 216
 CHICAGO IL 60604
 312-722-0084 PH

Engineer 1
 STRUCTURAL ENGINEER
 Engineer 2
 CIVIL ENGINEER
 Engineer 3
 MEP ENGINEER
 Engineer 4
 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

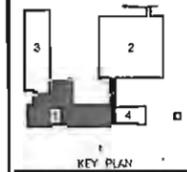
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



BUILDING 04
INTERIOR
PLANS

DRAWING NO.
ID.4-201

USER: _____
 PLOT SCALE: _____
 PLOT DATE: _____



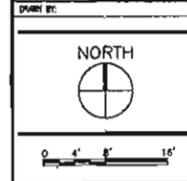
WEISS
 WEISS PROPERTIES, INC.
 8170 McCormick Blvd. Suite 100
 Skokie, IL 60076

KOO AND ASSOCIATES LTD
 33 N JACOBI BLVD STE 211
 CHICAGO, IL 60604
 312-235-6031

- Engineer 1 STRUCTURAL ENGINEER
- Engineer 2 CIVIL ENGINEER
- Engineer 3 MEP ENGINEER
- Engineer 4 EXTRA ENGINEER

PURPLE HOTEL
 4500 Touhy Ave
 Lincolnwood, IL 60712

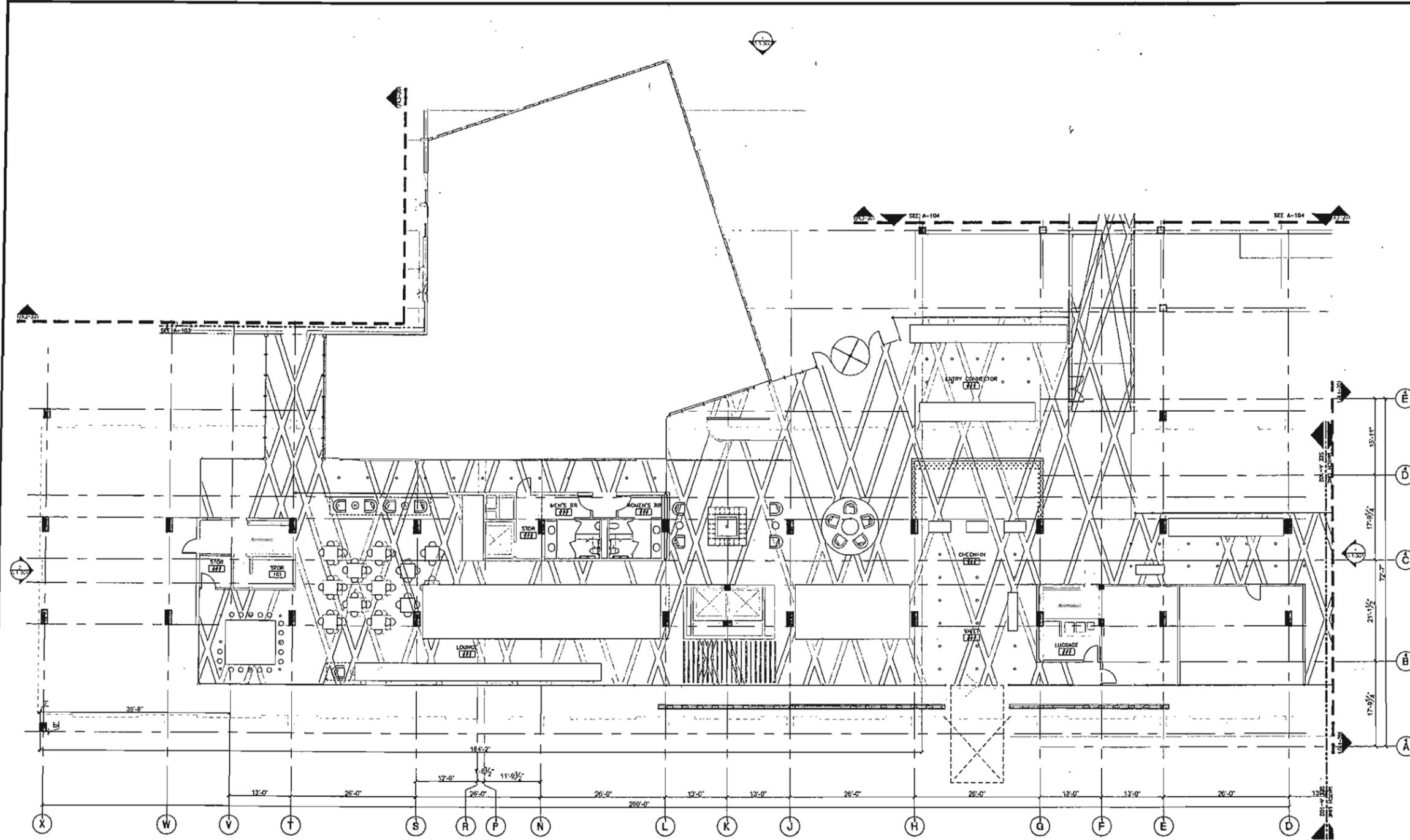
REVISIONS	
DATE	DESCRIPTION
	SCHEMATIC DESIGN



**BUILDING 1
 INTERIOR
 PLAN**

DRAWING NO.
ID.1-201

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**BUILDING 01
 LEVEL 01 PLAN**
 1/8" = 1'-0"

USPTO
 PLOT SCALE
 PLOT DATE

8.06(3)(l) Environment:
NOT YET AVAILABLE

8.06(3)(m) Utilities:
NOT YET AVAILABLE

LANDSCAPE ZONE ELEMENTS

A. PUBLIC ELEMENTS

-  **EXISTING TREES:**
-  **STREET TREES:**
3" cal., B + B
Sylvia Honeylocust
Royal Elm
Kentucky Coffeetree
Littleleaf Linden
- STREET LIGHTS:**
*** MATCH LINCOLN AVENUE CORRIDOR PLAN RECOMMENDATIONS ***
- PEDESTRIAN PAVING:**
- Broom Finish Concrete Sidewalks and Pavers at Corner Plaza
-  **HEDGE SCREENS:**
Alpine Currant
Hedge Cotoneaster
Seagreen Juniper
- FEATURE ELEMENT:**
- Sculptural Public Art: Paving Inlay Pattern, Water Display, Kinetic Wind Activated Sculpture, Seat Wall Planter
- BICYCLE PARKING:**
*** MATCH LINCOLN AVENUE CORRIDOR PLAN RECOMMENDATIONS ***

B. PRIVATE PARKING AREAS:

-  **SHADE TREES:**
3" cal., B+B
Shadblow Honeylocust
Greenspire Linden
Marmo Maple
Royal Elm
-  **ORNAMENTAL TREES:**
8 to 10 feet in height, B+B / Standard Form
European Alder
American Hornbeam
Star Magnolia
Three Flowered Maple
-  **TYPICAL PLANTING ISLAND:**
Soil Lawn
Gro-Low Sunuc
Buffalo Juniper / Juniperus sabina Buffalo
Low Perennial Grasses

C. PERIMETER BOUNDARY:

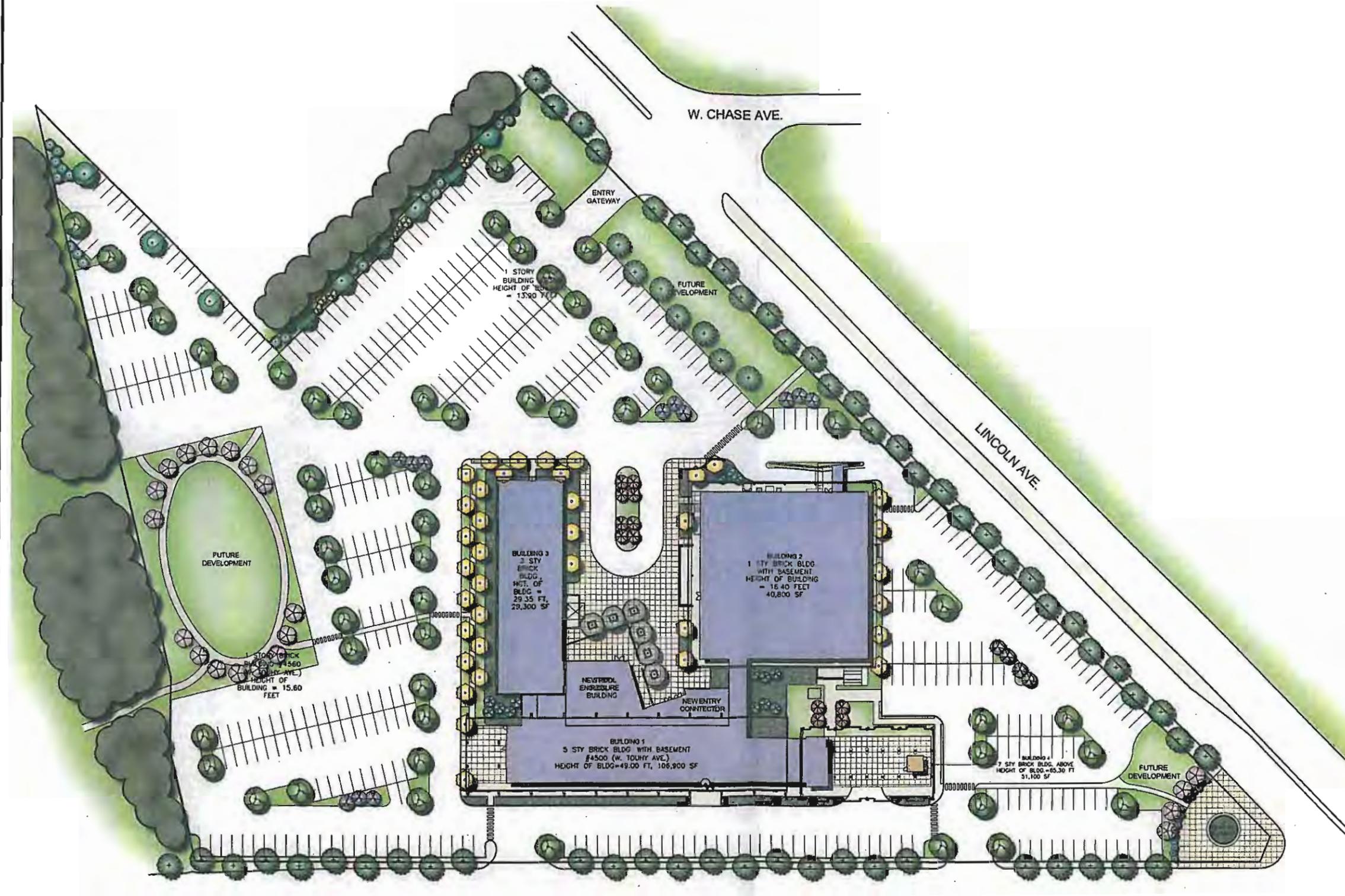
-  **EXISTING TREES:**
-  **SHADE TREES:**
3" cal., B+B
Miyabi Maple
Lacebark Elm
London Planetree
Norway Maple
Swamp White Oak
-  **ORNAMENTAL TREES:**
8 feet in height, B+B for screening
European Hornbeam
Comedian Cherry Dogwood
Crispall Hawthorn
Blackhaw Viburnum
-  **EVERGREEN TREES:**
8 to 10 in height
American Arborvitae
Vanderwolf's Pyramid Pine
Black Hills Spruce

D. FUTURE DEVELOPMENT / RESERVE SITE:

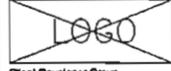
-  **INTERIM TREE GROVE:**
Japanese Tree Lilac
Eastern Redbud
Spring Snow Crabapple
Shadblow Serviceberry
Whitespire Birch
-  **TURF GRASS:**
Soil Lawn
-  **LOW GROW GRASS:**
Low Grow Fescue Mix
-  **INTERIM PATHWAY:**
Compacted Decomposed Granite Fines

E. PURPLE HOTEL / BANQUET SITE:

-  **CANOPY SHADE TREES:**
3" cal., B+B
Chantrelle Pear
American Linden
Sweetgum
Tuliptree
-  **DECIDUOUS COLUMNAR TREES:**
10 to 12 feet in height, B+B
Royal Prince English Oak
Frontier Elm
Autumn Blaze Fraxinus Maple
-  **FLOWERING ORNAMENTAL TREES:**
8 feet in height, B+B
Japanese Tree Lilac
Eastern Redbud
Spring Snow Crabapple
Shadblow Serviceberry
Whitespire Birch
-  **EVERGREEN TREES:**
6 to 8 in height, B+B
Mountain Juniper
Colorado Green Spruce
Emerald Arborvitae
White Fir
-  **GROUNDCOVER / SHRUB FOUNDATION PLANTING:**
Min. 30" height
Aronia arbutifolia / Red Chokeberry
Buxus microphylla 'Wintergreen' / Wintergreen Bamboo
Cornus baileyi / Redwing Dogwood
Cotoneaster apiculatus / Coral Beauty Cotoneaster
Euonymus alatus 'Compactus' / Compact Burning Bush
Hydrangea quercifolia / Oakleaf Hydrangea
Ilex glabra 'Shimmer' / Inkberry
Pachysandra terminalis / Japanese Spurge
Rhododendron x 'PJM' / PJM Rhododendron
Rhus aromatica / Fragrant Sumac
Rhus aromatica 'Gro-Low' / Gro-Low Sumac
Ribes alpinum / Alpine Currant
Syringa meyeri 'Palom' / Dwarf Korean Lilac
Syringa patula 'Miss Kim' / Miss Kim Lilac
Taxus x media 'Evarlow' / Evarlow Yew
Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum
-  **TURF GRASS:**
Soil Lawn
-  **RAISED PLANTER:**
Shrub + Perennial Mix
-  **SIDEWALK PAVING:**
Broom finish concrete or washed aggregate concrete
-  **PLAZA PAVING:**
Patterned concrete or unit pavers



APPROVAL STAMP



Client Developer Group
1234 Street Name
City, ST XXXXX

ROO AND ASSOCIATES LTD
83 W JACKSON BLVD STE 214
CHICAGO IL 60604
312-234-8883 PH

- Engineer 1 ARCHITECTURAL ENGINEER
- Engineer 2 CIVIL ENGINEER
- Engineer 3 MEP ENGINEER
- Engineer 4 ELECTRICAL ENGINEER

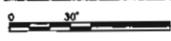
PROJECT NAME

1234 Project Ave
City, ST XXXXX

REVISIONS

DATE	DESCRIPTION

DRAWN BY:



Landscape Plan

DRAWING NO.

L-2

8.06(3)(o) Facilities Plans:
NOT YET AVAILABLE

8.06(3)(p) School Impact Study:
Not Applicable

8.06(3)(q) Tax Impact Study:
NOT YET AVAILABLE

8.06(3)(r) Traffic Analysis:
NOT YET AVAILABLE



Market Analysis

The Purple Hotel

Lincolnwood, Illinois



2012



10275 W Higgins Road, Suite 300, Rosemont, IL 60018



Where Success Come to Stay

Subject of the Market Study

The subject property of the market study is a proposed upscale hotel to be located at the intersection of Touhy and Lincoln Avenues in the Village of Lincolnwood. The property is situated on 8.5 acres of land. The property is expected to open in early 2014.

The subject property includes the hotel commonly known as "The Purple Hotel" which was constructed in 1960 by the Hyatt Corporation and after expansions now includes 293-rooms. The hotel was developed by Jay Pritzker. The famed architectural firm, Hausner and Macsai designed the hotel which was considered to be state-of-the-art for its time. The hotel was rebranded into a Radisson, then Ramada and finally closed in 2007 under the independent hotel brand, The Purple Hotel.

First Hospitality Group, Inc. ("FHG") was engaged by Weiss Properties, Incorporated to provide consulting services and market analysis for the subject property. FHG intends to collaborate with Weiss Properties to create a feasible development program that is responsive to market conditions and FHG would manage and operate the proposed hotel on the subject property.

FHG recommends the proposed subject property operate as an upscale and full-service hotel. Based on our research, we recommend approximately 220 guest rooms, a 9,000 square foot ballroom (sufficient to accommodate approximately 550 people), breakfast dining area, restaurants, a bar dining area, an indoor pool, an indoor whirlpool, an exercise room, a business center and a gift shop. The hotel should also feature back-of-the-house-space and convenient surface vehicular parking. FHG recommends including additional retail offerings to create a more vibrant mixed-use property that will attract additional guests and activity to the subject property.

Summary of Hotel Market Trends

Local employers, major universities, business travelers, group business and leisure travelers will represent the primary sources of demand in this market. Occupancy rates for hotels in this market have shown impressive increases over the last two years. Among the primary set of competitors, occupancy increased by 14.1% in 2010, by 3.4% in 2011 and 3.7% YTD 2012. The average occupancy for hotels in this market is 69.9% which exceeds prerecession occupancy rates and is the highest occupancy results reported in the Smith Travel Report ("STR") Trend Analysis which provides historic data dating back to 2006. Smith Travel is an independent research firm that tracks hotel performance data from tens of thousands hotels, representing over 5.5 million hotel rooms worldwide including occupancy, average daily rate, and RevPAR. STR has compiled historical supply and demand data for a group of hotels considered applicable to this analysis for the proposed subject property. Please note that the Lincolnwood Project STR Trend Analysis is attached to this Market Study and referenced herein.

These projections have been prepared by FHG based on historical operating performance and a variety of estimates and assumptions which are inherently subject to significant business, economic and competitive uncertainties. Actual results may vary materially from the projections. Accordingly, no representations or warranty of any level of performance or return on investment should be construed from these projections.

Demand

The onset of the recession in December of 2007 first became evident in lodging trends in the spring of 2008 as demand levels decreased from the peak recorded in the previous year. The pace of decline sped up in the fall of 2008, as both corporate and consumer spending fell dramatically in the wake of the financial crisis and in response to intensifying recessionary pressures. Aggressive price cuts and discounting that were implemented in the face of falling occupancy levels caused average rate to decrease by approximately 17% over this period. Demand growth resumed from 2010 to 2011 with average rate now pushing beyond \$110.08 in the market of the subject property. This increase is comparable to the U.S. national average lodging demand which increased by about 7% year-over-year beginning in 2009. A return of business travel and some group activity contributed to these positive trends. With respect to the subject property, we estimate that the distribution of accommodated room night demand will be generated by the following market segments:

1. *Commercial Segment:* Commercial demand consists of mainly of individuals that choose hotels based on brand loyalty using frequent traveler programs and make decisions based on location and convenience with respect to businesses and amenities. The subject property plans to affiliate with a first-rate brand or operate as an up-scale independent to capture this market segment. In addition, individual business people passing through the subject market or visiting area businesses will also contribute to the demand in this market segment. The top employers in the market area are listed below and provide a significant opportunity for the subject property to capture local business travelers:

Commercial Market Segment

<i>Top 25 Employers by MSA</i>

1 Rand McNally	16 Hoopis Financial Group
2 Peapod, LLC	17 Integrated DNA Technologies
3 Ada Metal Products	18 KAFKO International
4 Advanced Plastic Corporation	19 Lifescan Laboratory Inc.
5 American Book Display Co, Inc.	20 Midland Manufacturing
6 American Generator Armature	21 MPC Products Corporation
7 Publication International Limited	22 Portland Cement Association
8 Lettuce Entertain You Enterprises, Inc.	23 Prairie Seating Corporation
9 Ammeraal Beltech Inc.	24 Topco Associates LLC
10 Block Steel Corporation	25 Welch Vacuum Technology
11 Castwell	
12 CTLGroup	
13 Dunn Solutions	
14 John Crane	
15 Shure	

These projections have been prepared by FHG based on historical operating performance and a variety of estimates and assumptions which are inherently subject to significant business, economic and competitive uncertainties. Actual results may vary materially from the projections. Accordingly, no representations or warranty of any level of performance or return on investment should be construed from these projections.

2. *Meeting and Group Segment:* The meeting and group market includes meetings, seminars, conventions, trade association shows and similar gatherings of ten or more people. The ballroom facility contemplated for the subject property will capture this market segment. The ballroom facility will accommodate the primary components of the meeting and group segments -- the so-called SMERFE market segment: social, military, ethnic, religious, fraternal, and educational groups. Out-of-town-visitors who utilize the ballroom of the subject property (with a capacity for 800 guests) are likely to choose to stay as a guest in hotel located on the subject property.

3. *Leisure Segment:* Leisure demand consists of individuals and families spending time in an area or passing through en route to other destinations. Travel purposes include sightseeing, recreation, visiting friends, relatives and visiting local universities. Leisure demand also includes room nights booked through internet sites such as Expedia, Hotels.com and Priceline; however, leisure may not be the purpose of the stay.

Supply

The subject property will compete with existing hotels in the market. These hotels are listed in the table below and are the primary set of competitors for the subject property. In addition, the hotel will indirectly compete with the secondary set of competitors (which are more oriented to the select-service guest). It should be noted that there are no significant competitor hotels under development that could increase the supply of rooms in the market.

Primary Competitive Set			
<u>Hotel</u>	<u>Yr. Opened</u>	<u>No. Rooms</u>	<u>Amenities</u>
Sheraton - Hotel Chicago Northbrook	Oct 2008	161	Fitness Center, Meeting Rooms, Pool, Suites, Dining
Holiday Inn - Chicago North Shore Skokie	May 1969	244	Fitness Center, Pool, Meeting Rooms, Dining
Doubletree - Chicago North Shore	Feb 1974	369	Fitness Center, Meeting Rooms, Pool, Dining
Hilton - Orrington Evanston	Sep 1986	269	Fitness Center, Meeting Rooms, Dining, Suites
Total		1,043	

These projections have been prepared by FHG based on historical operating performance and a variety of estimates and assumptions which are inherently subject to significant business, economic and competitive uncertainties. Actual results may vary materially from the projections. Accordingly, no representations or warranty of any level of performance or return on investment should be construed from these projections.



Where Success Come to Stay

Secondary Competitive Set

<u>Hotel</u>	<u>No. Rooms</u>	<u>Amenities</u>
Hilton Garden Inn Evanston	178	Fitness Center, Meeting Rooms, Pool, Suites, Dining, Suites
Hampton Inn and Suites Skokie	225	Fitness Center, Meeting Rooms, Pool, Dining, Suites
Extended Stay Americas Skokie	140	Suites, Fitness Center
Best Western Morton Grove	53	Suites, Fitness Center
Courtyard By Marriott Highland Park	<u>137</u>	Fitness Center, Meeting Rooms, Pool, Dining, Suites
TOTAL	733	

Conclusion - Summary of Forecast

Based on the analysis presented herein, FHG forecasts that the subject property will have a stabilized occupancy level of 69% and an average daily room rate of \$125 dollars (four years from the opening of the subject property). Upon hotel opening and ramping-up to stabilization, FHG estimates that the subject property will operate at a modest premium over the current performance of the competitive set with an average daily rate in excess of \$110.08 and with occupancy around 65%. The superior location of the subject property on Touhy and Lincoln Avenues and its close proximity to the Edens Expressway along with the contemplated modernized rooms and state-of-the-art ballroom will position the subject property to penetrate the market and capture a greater than proportionate share of travelers than the competitors of the subject property. FHG concludes that the redevelopment of the Purple Hotel is an exciting opportunity to revitalize this famous Lincolnwood landmark allowing it to be enjoyed long into the future.

These projections have been prepared by FHG based on historical operating performance and a variety of estimates and assumptions which are inherently subject to significant business, economic and competitive uncertainties. Actual results may vary materially from the projections. Accordingly, no representations or warranty of any level of performance or return on investment should be construed from these projections.



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www.str.com

Skokie, IL Area Selected Properties

October 2008 to June 2012

Currency: USD - US Dollar

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

	Tab
Table of Contents	1
Data by Measure	2
Percent Change by Measure	3
Percent Change by Year	4
Twelve Month Moving Average	5
Day of Week Analysis	6
Raw Data	7
Classic	8
Response Report	9
Help	10
Terms and Conditions	11

Tab 2 - Data by Measure

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Occupancy (%)														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										62.6	60.1	47.0			
2009	41.2	51.4	43.3	56.1	61.0	67.2	70.5	67.1	70.2	74.4	61.6	46.9	59.3	53.3	
2010	46.8	53.3	63.0	67.3	71.7	79.6	82.7	76.1	76.3	76.7	70.9	46.8	67.6	63.7	
2011	47.4	56.8	62.5	71.7	77.8	85.5	83.0	77.3	76.7	77.1	75.1	47.6	69.9	67.0	
2012	50.6	58.8	68.2	71.3	77.8	89.7								69.5	
Avg	46.5	55.1	59.3	66.6	72.1	80.5	78.7	73.5	74.4	72.7	66.9	47.0	65.6	63.4	

ADR (\$)														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										127.26	116.31	92.34			
2009	98.31	101.10	102.73	106.81	107.63	118.21	98.67	96.57	110.49	116.54	99.90	89.40	104.64	106.81	
2010	93.11	93.30	94.60	98.20	102.31	116.32	89.08	95.79	110.88	112.88	108.95	90.94	102.39	100.86	
2011	94.56	99.28	96.49	104.34	106.35	130.26	108.69	110.41	117.40	120.68	117.44	96.39	110.08	107.12	
2012	102.26	101.77	101.89	108.69	117.82	133.71								112.95	
Avg	97.12	98.92	98.68	104.47	108.71	125.26	102.34	101.15	113.00	118.98	110.90	92.29	105.80	107.08	

RevPAR (\$)														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										79.62	69.96	43.37			
2009	40.55	51.96	44.53	59.93	65.65	79.47	69.54	64.77	77.59	86.74	61.55	41.94	62.02	56.96	
2010	43.60	49.77	59.56	66.11	73.40	92.55	81.89	72.87	84.55	86.55	77.30	42.37	69.25	64.23	
2011	44.84	56.38	60.30	74.81	82.72	111.39	90.27	85.31	90.02	93.04	88.18	45.89	76.94	71.76	
2012	51.78	59.83	69.49	77.52	91.63	119.98								78.45	
Avg	45.19	54.48	58.47	69.59	78.35	100.85	80.57	74.32	84.05	86.49	74.24	43.39	69.40	67.85	

Supply														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										32,333	31,290	32,333			
2009	32,333	29,204	32,333	31,290	32,333	31,290	32,333	32,333	31,290	32,333	31,290	32,333	380,695	188,783	
2010	32,333	29,204	32,333	31,290	32,333	31,290	32,333	32,333	31,290	32,333	31,290	32,333	380,695	188,783	
2011	32,333	29,204	32,333	31,290	32,333	31,290	32,333	32,333	31,290	32,333	31,290	32,333	380,695	188,783	
2012	32,333	29,204	32,333	31,290	32,333	31,290								188,783	
Avg	32,333	29,204	32,333	31,290	32,333	31,290	32,333	32,333	31,290	32,333	31,290	32,333	380,695	188,783	

Demand														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										20,229	18,820	15,186			
2009	13,336	15,008	14,014	17,557	19,721	21,037	22,788	21,685	21,973	24,065	19,277	15,167	225,628	100,673	
2010	15,140	15,577	20,359	21,064	23,196	24,897	26,725	24,594	23,860	24,792	22,200	15,066	257,470	120,233	
2011	15,330	16,584	20,205	22,434	25,148	26,757	26,852	24,983	23,992	24,929	23,493	15,393	266,100	126,458	
2012	16,371	17,169	22,053	22,317	25,145	28,075								131,130	
Avg	15,044	16,085	19,158	20,843	23,303	25,192	25,455	23,754	23,275	23,504	20,948	15,203	249,733	119,624	

Revenue (\$)														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2008										2,574,423	2,188,928	1,402,327			
2009	1,311,060	1,517,371	1,439,711	1,875,274	2,122,605	2,486,701	2,248,429	2,094,162	2,427,895	2,804,522	1,925,788	1,355,978	23,609,494	10,752,722	
2010	1,409,615	1,453,364	1,925,911	2,068,444	2,373,117	2,895,967	2,647,829	2,355,979	2,645,683	2,798,406	2,418,591	1,370,047	26,362,953	12,126,418	
2011	1,449,656	1,646,489	1,949,588	2,340,872	2,674,539	3,485,241	2,918,587	2,758,345	2,816,639	3,008,383	2,769,105	1,483,694	29,291,138	13,546,385	
2012	1,674,168	1,747,304	2,246,907	2,425,635	2,982,580	3,754,047								14,810,621	
Avg	1,461,125	1,591,132	1,890,529	2,177,556	2,533,205	3,155,489	2,604,948	2,402,829	2,630,072	2,796,434	2,323,103	1,403,011	26,421,195	12,809,037	

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Tab 3 - Percent Change from Previous Year - Detail by Measure

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Occupancy														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										19.0	2.4	-0.1			
2010	13.5	3.8	45.3	20.0	17.6	18.3	17.3	13.4	8.6	3.0	15.2	-0.7	14.1	19.4	
2011	1.3	6.5	-0.8	6.5	8.4	7.5	0.5	1.6	0.6	0.6	5.8	2.2	3.4	5.2	
2012	6.8	3.5	9.1	-0.5	-0.0	4.9								3.7	
Avg	7.2	4.6	17.9	8.7	8.7	10.2	8.9	7.5	4.6	7.5	7.8	0.5	8.7	9.4	

ADR														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										8.4	-14.1	-3.2			
2010	-5.3	-7.7	-7.9	-8.1	-4.9	-1.6	0.4	-0.8	0.4	-3.1	9.1	1.7	-2.1	-5.6	
2011	1.6	6.4	2.0	6.3	4.0	12.0	9.7	15.3	5.9	6.9	7.8	6.0	7.5	6.2	
2012	8.1	2.5	5.6	4.2	10.8	2.7								5.4	
Avg	1.5	0.4	-0.1	0.8	3.3	4.3	5.1	7.2	3.1	-1.6	0.9	1.5	2.7	2.0	

RevPAR														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										8.9	-12.0	-3.3			
2010	7.5	-4.2	33.8	10.3	11.8	16.5	17.8	12.5	9.0	-0.2	25.6	1.0	11.7	12.8	
2011	2.8	13.3	1.2	13.2	12.7	20.3	10.2	17.1	6.5	7.5	14.1	8.3	11.1	11.7	
2012	15.5	6.1	15.3	3.6	10.8	7.7								9.3	
Avg	8.6	5.1	16.8	9.0	11.8	14.8	14.0	14.8	7.7	5.4	9.2	2.0	11.4	11.3	

Supply														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										0.0	0.0	0.0			
2010	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
2011	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
2012	0.0	0.0	0.0	0.0	0.0	0.0								0.0	
Avg	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	

Demand														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										19.0	2.4	-0.1			
2010	13.5	3.8	45.3	20.0	17.6	18.3	17.3	13.4	8.6	3.0	15.2	-0.7	14.1	19.4	
2011	1.3	6.5	-0.8	6.5	8.4	7.5	0.5	1.6	0.6	0.6	5.8	2.2	3.4	5.2	
2012	6.8	3.5	9.1	-0.5	-0.0	4.9								3.7	
Avg	7.2	4.6	17.9	8.7	8.7	10.2	8.9	7.5	4.6	7.5	7.8	0.5	8.7	9.4	

Revenue														Total Year	Jun YTD
	January	February	March	April	May	June	July	August	September	October	November	December			
2009										8.9	-12.0	-3.3			
2010	7.5	-4.2	33.8	10.3	11.8	16.5	17.8	12.5	9.0	-0.2	25.6	1.0	11.7	12.8	
2011	2.8	13.3	1.2	13.2	12.7	20.3	10.2	17.1	6.5	7.5	14.1	8.3	11.1	11.7	
2012	15.5	6.1	15.3	3.6	10.8	7.7								9.3	
Avg	8.6	5.1	16.8	9.0	11.8	14.8	14.0	14.8	7.7	5.4	9.2	2.0	11.4	11.3	

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Tab 4 - Percent Change from Previous Year - Detail by Year

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

	Jan 09	Feb 09	Mar 09	Apr 09	May 09	Jun 09	Jul 09	Aug 09	Sep 09	Oct 09	Nov 09	Dec 09	Total Year	Jun YTD
Occ										19.0	2.4	-0.1		
ADR										-8.4	-14.1	-3.2		
RevPAR										8.9	-12.0	-3.3		
Supply										0.0	0.0	0.0		
Demand										19.0	2.4	-0.1		
Revenue										8.9	-12.0	-3.3		

	Jan 10	Feb 10	Mar 10	Apr 10	May 10	Jun 10	Jul 10	Aug 10	Sep 10	Oct 10	Nov 10	Dec 10	Total Year	Jun YTD
Occ	13.5	3.8	45.3	20.0	17.6	18.3	17.3	13.4	8.6	3.0	15.2	-0.7	14.1	19.4
ADR	-5.3	-7.7	-7.9	-8.1	-4.9	-1.6	0.4	-0.8	0.4	-3.1	9.1	1.7	-2.1	-5.6
RevPAR	7.5	-4.2	33.8	10.3	11.8	16.5	17.8	12.5	9.0	-0.2	25.6	1.0	11.7	12.8
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Demand	13.5	3.8	45.3	20.0	17.6	18.3	17.3	13.4	8.6	3.0	15.2	-0.7	14.1	19.4
Revenue	7.5	-4.2	33.8	10.3	11.8	16.5	17.8	12.5	9.0	-0.2	25.6	1.0	11.7	12.8

	Jan 11	Feb 11	Mar 11	Apr 11	May 11	Jun 11	Jul 11	Aug 11	Sep 11	Oct 11	Nov 11	Dec 11	Total Year	Jun YTD
Occ	1.3	6.5	-0.8	6.5	8.4	7.5	0.5	1.6	0.6	0.6	6.8	2.2	3.4	5.2
ADR	1.6	6.4	2.0	6.3	4.0	12.0	9.7	15.3	5.9	6.9	7.8	6.0	7.5	6.2
RevPAR	2.8	13.3	1.2	13.2	12.7	20.3	10.2	17.1	6.5	7.5	14.1	8.3	11.1	11.7
Supply	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Demand	1.3	6.5	-0.8	6.5	8.4	7.5	0.5	1.6	0.6	0.6	6.8	2.2	3.4	5.2
Revenue	2.8	13.3	1.2	13.2	12.7	20.3	10.2	17.1	6.5	7.5	14.1	8.3	11.1	11.7

	Jan 12	Feb 12	Mar 12	Apr 12	May 12	Jun 12	Jul 12	Aug 12	Sep 12	Oct 12	Nov 12	Dec 12	Total Year	Jun YTD
Occ	6.8	3.5	9.1	-0.5	-0.0	4.9								3.7
ADR	8.1	2.5	5.6	4.2	10.8	2.7								5.4
RevPAR	15.5	6.1	15.3	3.6	10.8	7.7								9.3
Supply	0.0	0.0	0.0	0.0	0.0	0.0								0.0
Demand	6.8	3.5	9.1	-0.5	-0.0	4.9								3.7
Revenue	15.5	6.1	15.3	3.6	10.8	7.7								9.3

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Tab 5 - Twelve Month Moving Average

Skokie, IL Area Selected Properties

Job Number: 436442_SADIM Staff: KD Created: July 27, 2012

Occupancy (%)	January	February	March	April	May	June	July	August	September	October	November	December
2009										59.2	59.3	59.3
2010	59.7	59.9	61.6	62.5	63.4	64.4	65.4	66.2	66.7	66.9	67.7	67.6
2011	67.7	67.9	67.9	68.3	68.8	69.3	69.3	69.4	69.4	69.5	69.8	69.9
2012	70.2	70.3	70.8	70.8	70.8	71.1						

ADR (\$)	January	February	March	April	May	June	July	August	September	October	November	December
2009										106.22	104.84	104.64
2010	104.24	103.70	102.97	102.26	101.83	101.89	101.89	101.75	101.85	101.54	102.30	102.39
2011	102.47	102.82	102.97	103.48	103.86	105.36	106.34	107.70	108.29	108.03	109.78	110.08
2012	110.49	110.62	110.97	111.33	112.40	112.85						

RevPAR (\$)	January	February	March	April	May	June	July	August	September	October	November	December
2009										62.83	62.14	62.02
2010	62.28	62.11	63.38	63.89	64.55	65.63	66.87	67.36	67.93	67.92	69.21	69.25
2011	69.35	69.86	69.92	70.64	71.43	72.98	73.69	74.75	75.20	75.75	76.64	76.94
2012	77.53	77.80	78.58	78.60	79.66	80.28						

Supply	January	February	March	April	May	June	July	August	September	October	November	December
2009										380,695	380,695	380,695
2010	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695
2011	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695	380,695
2012	380,695	380,695	380,695	380,695	380,695	380,695						

Demand	January	February	March	April	May	June	July	August	September	October	November	December
2009										225,190	225,647	225,628
2010	227,432	228,001	234,346	237,853	241,328	245,188	249,125	252,034	253,921	254,648	257,571	257,470
2011	257,660	258,667	258,513	259,883	261,835	263,695	263,822	264,211	264,343	264,480	265,773	266,100
2012	267,141	267,726	268,574	269,457	269,454	270,772						

Revenue (\$)	January	February	March	April	May	June	July	August	September	October	November	December
2009										23,916,985	23,655,845	23,608,494
2010	23,708,049	23,644,042	24,130,242	24,323,412	24,573,924	24,983,190	25,382,590	25,644,407	25,862,195	25,856,079	26,348,882	26,382,953
2011	26,402,994	26,598,119	26,619,796	26,892,224	27,193,646	27,782,920	28,053,678	28,456,044	28,627,000	28,838,977	29,177,491	29,291,136
2012	29,515,650	29,618,465	29,913,784	29,898,547	30,286,568	30,555,374						

High value is boxed.

Low value is boxed and italicized.

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Tab b - Day of Week Analysis

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Occupancy (%)								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul - 11	67.0	78.4	85.8	87.7	84.8	85.8	92.6	83.0
Aug - 11	60.5	72.6	78.8	78.8	76.3	83.9	90.5	77.3
Sep - 11	63.1	67.1	78.1	82.0	72.1	82.3	91.8	76.7
Oct - 11	50.4	68.9	84.8	85.8	79.8	84.4	90.9	77.1
Nov - 11	62.0	72.4	76.6	79.3	78.7	83.7	81.3	75.1
Dec - 11	37.5	48.6	50.3	53.0	47.9	43.5	52.2	47.6
Jan - 12	33.9	50.4	56.3	60.4	53.0	52.9	50.2	50.6
Feb - 12	42.9	57.9	60.9	63.1	60.0	62.3	63.5	58.8
Mar - 12	54.6	71.5	74.6	69.1	62.7	70.1	74.3	68.2
Apr - 12	49.5	68.6	79.2	79.2	70.5	78.0	79.5	71.3
May - 12	56.8	68.6	77.6	83.7	80.0	86.0	89.6	77.8
Jun - 12	68.7	91.0	95.1	93.2	91.0	91.8	95.4	89.7
Total Year	52.9	67.8	74.7	76.3	71.0	75.4	79.5	71.1

Three Year Occupancy (%)								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul 09 - Jun 10	48.4	61.5	67.8	66.7	63.2	70.0	73.4	64.4
Jul 10 - Jun 11	53.2	66.9	73.8	74.0	67.1	74.0	76.0	69.3
Jul 11 - Jun 12	52.9	67.8	74.7	76.3	71.0	75.4	79.5	71.1
Total 3 Yr	51.5	65.4	72.1	72.3	67.1	73.1	76.3	68.3

ADR								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul - 11	101.76	110.37	114.33	114.22	110.86	105.51	105.57	108.69
Aug - 11	105.08	110.82	112.16	111.42	112.40	109.19	110.00	110.41
Sep - 11	119.64	125.04	121.40	117.77	114.36	112.37	115.15	117.40
Oct - 11	110.58	115.83	119.64	119.48	120.55	128.42	126.06	120.68
Nov - 11	110.64	115.27	116.86	115.30	114.29	124.57	123.93	117.44
Dec - 11	95.84	100.16	100.20	98.55	97.72	90.81	92.63	96.39
Jan - 12	96.85	105.38	107.87	108.28	104.49	94.88	93.02	102.26
Feb - 12	95.82	105.48	105.50	107.32	105.77	96.87	92.96	101.77
Mar - 12	100.09	107.66	107.36	106.27	102.93	97.11	94.47	101.89
Apr - 12	103.77	107.77	110.14	110.93	108.83	110.24	108.18	108.69
May - 12	108.80	117.30	116.98	119.64	120.98	117.80	119.20	117.82
Jun - 12	118.42	122.65	125.47	129.11	149.11	141.64	141.78	133.71
Total Year	106.60	112.68	114.03	114.22	114.97	113.04	112.77	112.85

Three Year ADR								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul 09 - Jun 10	97.00	101.78	102.84	102.52	103.06	102.93	101.95	101.89
Jul 10 - Jun 11	96.65	106.18	107.33	106.71	106.07	106.03	104.80	105.36
Jul 11 - Jun 12	106.50	112.68	114.03	114.22	114.97	113.04	112.77	112.85
Total 3 Yr	100.82	107.01	108.17	108.03	108.24	107.49	106.69	106.87

RevPAR								Total Month
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul - 11	68.21	86.50	98.15	100.24	94.02	90.57	97.77	90.27
Aug - 11	63.58	80.44	88.37	87.76	85.72	81.63	99.52	85.31
Sep - 11	75.44	83.90	94.78	96.69	82.46	92.47	105.75	90.02
Oct - 11	55.76	79.78	101.37	102.55	96.23	108.35	114.55	93.04
Nov - 11	57.52	83.46	89.78	91.46	89.99	104.25	100.81	88.18
Dec - 11	36.95	48.66	50.43	52.19	46.85	39.50	48.37	45.89
Jan - 12	32.84	53.13	60.81	65.45	55.39	50.24	46.74	51.78
Feb - 12	41.07	61.04	64.20	67.71	63.50	60.34	58.99	59.83
Mar - 12	54.64	77.01	80.05	73.45	64.66	68.04	70.14	69.49
Apr - 12	51.33	73.93	87.21	87.81	76.78	87.08	85.97	77.52
May - 12	61.84	80.47	90.77	100.19	96.80	101.29	106.83	91.63
Jun - 12	81.40	111.64	119.34	120.28	135.72	129.97	135.20	119.68
Total Year	66.32	76.33	85.17	87.17	81.64	85.26	89.67	80.26

Three Year RevPAR								Total Year
Sun	Mon	Tue	Wed	Thu	Fri	Sat		
Jul 09 - Jun 10	46.90	62.55	69.55	68.39	65.06	72.01	74.84	65.63
Jul 10 - Jun 11	52.47	71.01	79.20	78.94	71.19	78.42	79.67	72.98
Jul 11 - Jun 12	56.32	76.33	85.17	87.17	81.64	85.26	89.67	80.26
Total 3 Yr	51.89	69.96	77.97	78.09	72.62	78.60	81.44	72.96

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Tab 7 - Raw Data

Skokie, IL Area Selected Properties
 Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants										
Oct 08	62.6		127.26		79.62		32,333		20,229		2,574,423		4	1,043	100.0
Nov 08	60.1		116.31		69.96		31,290		18,820		2,188,928		4	1,043	100.0
Dec 08	47.0		92.34		43.37		32,333		15,186		1,402,327		4	1,043	100.0
Jan 09	41.2		98.31		40.55		32,333		13,336		1,311,060		4	1,043	100.0
Feb 09	51.4		101.10		51.96		29,204		15,008		1,517,371		4	1,043	100.0
Mar 09	43.3		102.73		44.53		32,333		14,014		1,439,711		4	1,043	100.0
Apr 09	56.1		106.81		59.93		31,290		17,557		1,875,274		4	1,043	100.0
May 09	61.0		107.63		65.65		32,333		19,721		2,122,605		4	1,043	100.0
Jun 09	67.2		118.21		79.47		31,290		21,037		2,486,701		4	1,043	100.0
Jul 09	70.5		98.87		69.54		32,333		22,788		2,248,429		4	1,043	100.0
Aug 09	67.1		96.57		64.77		32,333		21,685		2,094,162		4	1,043	100.0
Sep 09	70.2		110.49		77.59		31,290		21,973		2,427,895		4	1,043	100.0
Oct 09	74.4	19.0	116.54	-8.4	86.74	8.9	32,333	0.0	24,065	19.0	2,804,522	8.9	4	1,043	100.0
Nov 09	61.6	2.4	99.90	-14.1	61.55	-12.0	31,290	0.0	19,277	2.4	1,925,788	-12.0	4	1,043	100.0
Dec 09	46.9	-0.1	89.40	-3.2	41.94	-3.3	32,333	0.0	15,167	-0.1	1,355,976	-3.3	4	1,043	100.0
Jan 10	46.8	13.5	93.11	-5.3	43.60	7.5	32,333	0.0	15,140	13.5	1,409,615	7.5	4	1,043	100.0
Feb 10	53.3	3.8	93.30	-7.7	49.77	-4.2	29,204	0.0	15,577	3.8	1,453,364	-4.2	4	1,043	100.0
Mar 10	63.0	45.3	94.60	-7.9	59.56	33.8	32,333	0.0	20,359	45.3	1,925,911	33.8	4	1,043	100.0
Apr 10	67.3	20.0	98.20	-8.1	66.11	10.3	31,290	0.0	21,064	20.0	2,068,444	10.3	4	1,043	100.0
May 10	71.7	17.6	102.31	-4.9	73.40	11.8	32,333	0.0	23,196	17.6	2,373,117	11.8	4	1,043	100.0
Jun 10	79.6	18.3	116.32	-1.6	92.55	16.5	31,290	0.0	24,897	18.3	2,895,967	16.5	4	1,043	100.0
Jul 10	82.7	17.3	99.08	0.4	81.89	17.8	32,333	0.0	26,725	17.3	2,647,829	17.8	4	1,043	100.0
Aug 10	76.1	13.4	95.79	-0.8	72.87	12.5	32,333	0.0	24,594	13.4	2,355,979	12.5	4	1,043	100.0
Sep 10	76.3	8.6	110.88	0.4	84.55	9.0	31,290	0.0	23,860	8.6	2,645,683	9.0	4	1,043	100.0
Oct 10	76.7	3.0	112.88	-3.1	86.55	-0.2	32,333	0.0	24,792	3.0	2,798,406	-0.2	4	1,043	100.0
Nov 10	70.9	15.2	108.95	9.1	77.30	25.6	31,290	0.0	22,200	15.2	2,418,591	25.6	4	1,043	100.0
Dec 10	46.6	-0.7	90.94	1.7	42.37	1.0	32,333	0.0	15,066	-0.7	1,370,047	1.0	4	1,043	100.0
Jan 11	47.4	1.3	94.56	1.6	44.84	2.8	32,333	0.0	15,330	1.3	1,449,656	2.8	4	1,043	100.0
Feb 11	56.8	6.5	99.28	6.4	56.38	13.3	29,204	0.0	16,584	6.5	1,646,489	13.3	4	1,043	100.0
Mar 11	62.5	-0.8	96.49	2.0	60.30	1.2	32,333	0.0	20,205	-0.8	1,949,588	1.2	4	1,043	100.0
Apr 11	71.7	6.5	104.34	6.3	74.81	13.2	31,290	0.0	22,434	6.5	2,340,872	13.2	4	1,043	100.0
May 11	77.8	8.4	106.35	4.0	82.72	12.7	32,333	0.0	25,148	8.4	2,674,539	12.7	4	1,043	100.0
Jun 11	85.5	7.5	130.26	12.0	111.39	20.3	31,290	0.0	26,757	7.5	3,485,241	20.3	4	1,043	100.0
Jul 11	83.0	0.5	108.69	9.7	90.27	10.2	32,333	0.0	26,852	0.5	2,918,587	10.2	4	1,043	100.0
Aug 11	77.3	1.6	110.41	15.3	85.31	17.1	32,333	0.0	24,983	1.6	2,758,345	17.1	4	1,043	100.0
Sep 11	76.7	0.6	117.40	5.9	90.02	6.5	31,290	0.0	23,992	0.6	2,816,639	6.5	4	1,043	100.0
Oct 11	77.1	0.6	120.68	6.9	93.04	7.5	32,333	0.0	24,929	0.6	3,008,383	7.5	4	1,043	100.0
Nov 11	75.1	5.8	117.44	7.8	88.18	14.1	31,290	0.0	23,493	5.8	2,759,105	14.1	4	1,043	100.0
Dec 11	47.6	2.2	96.39	6.0	45.89	8.3	32,333	0.0	15,393	2.2	1,483,694	8.3	4	1,043	100.0
Jan 12	50.6	6.8	102.26	8.1	51.78	15.5	32,333	0.0	16,371	6.8	1,674,168	15.5	4	1,043	100.0
Feb 12	58.8	3.5	101.77	2.5	59.83	6.1	29,204	0.0	17,169	3.5	1,747,304	6.1	4	1,043	100.0
Mar 12	68.2	9.1	101.89	5.6	69.49	15.3	32,333	0.0	22,053	9.1	2,246,907	15.3	4	1,043	100.0
Apr 12	71.3	-0.5	108.69	4.2	77.52	3.6	31,290	0.0	22,317	-0.5	2,425,635	3.6	4	1,043	100.0
May 12	77.8	-0.0	117.82	10.8	91.63	10.8	32,333	0.0	25,145	-0.0	2,962,560	10.8	4	1,043	100.0
Jun 12	89.7	4.9	133.71	2.7	119.98	7.7	31,290	0.0	28,075	4.9	3,754,047	7.7	4	1,043	100.0

Tab 7 - Raw Data

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants										

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Tab 8 - Classic

Skokie, IL Area Selected Properties
 Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants								
Oct 08	62.6		127.26		79.62		32,333		20,229		2,574,423		4	1,043	100.0
Nov 08	60.1		116.31		69.96		31,290		18,820		2,188,928		4	1,043	100.0
Dec 08	47.0		92.34		43.37		32,333		15,186		1,402,327		4	1,043	100.0
Jun YTD 2008															
Total 2008															
Jan 09	41.2		98.31		40.55		32,333		13,336		1,311,060		4	1,043	100.0
Feb 09	51.4		101.10		51.96		29,204		15,008		1,517,371		4	1,043	100.0
Mar 09	43.3		102.73		44.53		32,333		14,014		1,439,711		4	1,043	100.0
Apr 09	56.1		106.81		59.93		31,290		17,557		1,875,274		4	1,043	100.0
May 09	61.0		107.63		65.65		32,333		19,721		2,122,605		4	1,043	100.0
Jun 09	67.2		118.21		78.47		31,290		21,037		2,486,701		4	1,043	100.0
Jul 09	70.5		98.67		69.54		32,333		22,788		2,248,429		4	1,043	100.0
Aug 09	67.1		96.57		64.77		32,333		21,685		2,094,162		4	1,043	100.0
Sep 09	70.2		110.49		77.59		31,290		21,973		2,427,895		4	1,043	100.0
Oct 09	74.4	19.0	116.54	-8.4	86.74	8.9	32,333	0.0	24,065	19.0	2,804,522	8.9	4	1,043	100.0
Nov 09	61.6	2.4	99.90	-14.1	61.55	-12.0	31,290	0.0	19,277	2.4	1,925,788	-12.0	4	1,043	100.0
Dec 09	46.9	-0.1	89.40	-3.2	41.94	-3.3	32,333	0.0	15,167	-0.1	1,355,976	-3.3	4	1,043	100.0
Jun YTD 2009	53.9		109.81		56.95		188,783		100,673		10,752,722				
Total 2009	59.3		104.64		62.02		380,695		225,628		23,609,494				
Jan 10	46.8	13.5	93.11	-5.3	43.60	7.5	32,333	0.0	15,140	13.5	1,409,615	7.5	4	1,043	100.0
Feb 10	53.3	3.8	93.30	-7.7	49.77	-4.2	29,204	0.0	15,577	3.8	1,453,364	-4.2	4	1,043	100.0
Mar 10	63.0	45.3	94.60	-7.9	59.56	33.8	32,333	0.0	20,359	45.3	1,925,911	33.8	4	1,043	100.0
Apr 10	67.3	20.0	98.20	-8.1	66.11	10.3	31,290	0.0	21,064	20.0	2,068,444	10.3	4	1,043	100.0
May 10	71.7	17.6	102.31	-4.9	73.40	11.8	32,333	0.0	23,196	17.6	2,373,117	11.8	4	1,043	100.0
Jun 10	79.6	18.3	116.32	-1.6	92.55	16.5	31,290	0.0	24,897	18.3	2,895,967	16.5	4	1,043	100.0
Jul 10	82.7	17.3	99.08	0.4	81.89	17.8	32,333	0.0	26,725	17.3	2,647,829	17.8	4	1,043	100.0
Aug 10	76.1	13.4	95.79	-0.8	72.87	12.5	32,333	0.0	24,594	13.4	2,355,979	12.5	4	1,043	100.0
Sep 10	76.3	8.6	110.88	0.4	84.55	9.0	31,290	0.0	23,860	8.6	2,645,683	9.0	4	1,043	100.0
Oct 10	76.7	3.0	112.88	-3.1	86.55	-0.2	32,333	0.0	24,792	3.0	2,798,406	-0.2	4	1,043	100.0
Nov 10	70.9	15.2	108.95	9.1	77.30	25.6	31,290	0.0	22,200	15.2	2,418,591	25.6	4	1,043	100.0
Dec 10	46.6	-0.7	80.94	1.7	42.37	1.0	32,333	0.0	15,066	-0.7	1,370,047	1.0	4	1,043	100.0
Jun YTD 2010	63.7	19.4	100.89	-5.6	64.23	12.8	188,783	0.0	120,233	19.4	12,126,478	12.8			
Total 2010	67.6	14.1	102.39	-2.1	59.25	11.7	380,695	0.0	257,470	14.1	26,382,953	11.7			
Jan 11	47.4	1.3	94.56	1.8	44.84	2.8	32,333	0.0	15,330	1.3	1,449,656	2.8	4	1,043	100.0
Feb 11	56.8	6.5	99.28	6.4	56.38	13.3	29,204	0.0	16,584	6.5	1,646,489	13.3	4	1,043	100.0
Mar 11	62.5	-0.8	96.49	2.0	60.30	1.2	32,333	0.0	20,205	-0.8	1,949,588	1.2	4	1,043	100.0
Apr 11	71.7	6.5	104.34	6.3	74.81	13.2	31,290	0.0	22,434	6.5	2,340,872	13.2	4	1,043	100.0
May 11	77.8	8.4	106.35	4.0	82.72	12.7	32,333	0.0	25,148	8.4	2,674,539	12.7	4	1,043	100.0
Jun 11	85.5	7.5	130.26	12.0	111.39	20.3	31,290	0.0	26,757	7.5	3,485,241	20.3	4	1,043	100.0
Jul 11	83.0	0.5	108.69	9.7	90.27	10.2	32,333	0.0	26,852	0.5	2,918,587	10.2	4	1,043	100.0
Aug 11	77.3	1.6	110.41	15.3	85.31	17.1	32,333	0.0	24,983	1.6	2,758,345	17.1	4	1,043	100.0
Sep 11	76.7	0.6	117.40	5.9	90.02	6.5	31,290	0.0	23,992	0.6	2,816,639	6.5	4	1,043	100.0
Oct 11	77.1	0.6	120.68	6.9	93.04	7.5	32,333	0.0	24,929	0.6	3,008,383	7.5	4	1,043	100.0
Nov 11	75.1	5.8	117.44	7.8	88.18	14.1	31,290	0.0	23,493	5.8	2,759,105	14.1	4	1,043	100.0
Dec 11	47.6	2.2	96.39	6.0	45.89	8.3	32,333	0.0	15,393	2.2	1,483,694	8.3	4	1,043	100.0
Jun YTD 2011	67.0	5.2	107.12	5.2	71.76	11.7	188,783	0.0	128,458	5.2	13,546,355	11.7			
Total 2011	69.9	3.4	110.99	7.5	78.94	11.1	380,695	0.0	266,190	3.4	29,281,136	11.1			
Jan 12	50.6	6.8	102.26	8.1	51.78	15.5	32,333	0.0	16,371	6.8	1,674,168	15.5	4	1,043	100.0
Feb 12	58.8	3.5	101.77	2.5	59.83	6.1	29,204	0.0	17,169	3.5	1,747,304	6.1	4	1,043	100.0
Mar 12	68.2	9.1	101.89	5.6	69.49	15.3	32,333	0.0	22,053	9.1	2,246,907	15.3	4	1,043	100.0
Apr 12	71.3	-0.5	108.69	4.2	77.52	3.6	31,290	0.0	22,317	-0.5	2,425,635	3.6	4	1,043	100.0
May 12	77.8	-0.0	117.82	10.8	91.63	10.8	32,333	0.0	25,145	-0.0	2,962,560	10.8	4	1,043	100.0

Tab 8 - Classic

Skokie, IL Area Selected Properties

Job Number: 435442_SADIM Staff: KD Created: July 27, 2012

Date	Occupancy		ADR		RevPar		Supply		Demand		Revenue		Census & Sample %		
	This Year	% Chg	This Year	% Chg	Census Props	Census Rooms	% Rooms STAR Participants								
Jun 12	89.7	4.9	133.71	2.7	119.98	7.7	31,290	0.0	28,075	4.9	3,754,047	7.7	4	1,043	100.0
Jun YTD 2012	69.5	3.7	112.95	5.4	78.45	9.3	189,783	0.0	131,130	3.7	14,810,521	9.8			

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Tab 10 - Help

Methodology

While virtually every chain in the United States provides STR with data on almost all of their properties, there are still some hotels that don't submit data. But we've got you covered.

Every year we examine guidebook listings and hotel directories for information on hotels that don't provide us with data. We don't stop there. We call each hotel in our database every year to obtain "published" rates for multiple categories. Based on this information we group all hotels - those that report data and those that don't - into groupings based off of price level and geographic proximity. We then estimate the non-respondents based off of nearby hotels with similar price levels.

Similarly, we sometimes obtain monthly data from a property, but not daily data. We use a similar process. We take the monthly data that the property has provided, and distribute it to the individual days based on the revenue and demand distribution patterns of similar hotels in the same location.

We believe it imperative to perform this analysis in order to provide interested parties with our best estimate of total lodging demand and room revenue on their areas of interest. Armed with this information a more informed decision can be made.

Glossary

ADR (Average Daily Rate)

Room revenue divided by rooms sold, displayed as the average rental rate for a single room.

Affiliation Date

Date the property affiliated with current chain/flag

Census (Properties and Rooms)

The number of properties and rooms that exist within the selected property set or segment.

Change in Rooms

Indicator of whether or not an individual hotel has added or removed rooms from their inventory.

Exchange Rate

The factor used to convert revenue from U.S. Dollars to the local currency. The exchange rate data is obtained from Oanda.com. Any aggregated number in the report (YTD, Running 3 month, Running 12 month) uses the exchange rate of each relative month when calculating the data.

Extended Historical Trend

Data on selected properties or segments starting in 2000.

Demand (Rooms Sold)

The number of rooms sold (excludes complimentary rooms).

Full Historical Trend

Data on selected properties or segments starting in 1987.

Occupancy

Rooms sold divided by rooms available. Occupancy is always displayed as a percentage of rooms occupied.

Open Date

Date the property opened as a lodging establishment.

Percent Change

Amount of growth, up, flat, or down from the same period last year (month, ytd, three months, twelve months). Calculated as $((TY-LY)/LY) * 100$.

Revenue (Room Revenue)

Total room revenue generated from the sale or rental of rooms.

RevPAR (Revenue Per Available Room)

Room revenue divided by rooms available

Sample % (Rooms)

The % of rooms from which STR receives data. Calculated as $(\text{Sample Rooms}/\text{Census Rooms}) * 100$.

Standard Historical Trend

Data on selected properties or segments starting in 2005.

STR Code

Smith Travel Research's proprietary numbering system. Each hotel in the lodging census has a unique STR code.

Supply (Rooms Available)

The number of rooms times the number of days in the period.

Twelve Month Moving Average

The value of any given month is computed by taking the value of that month and the values of the eleven preceding months, adding them together and dividing by twelve.

Year to Date

Tab 11 - Terms and Conditions

Before purchasing this product you agreed to the following terms and conditions.

In consideration of the mutual promises contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Smith Travel Research, Inc. ("STR") and purchaser of this product ("Licensee") agree as follows:

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2.2 Disclaimers. STR shall have no liability with respect to its obligations under this agreement or otherwise for consequential, exemplary, special, incidental, or punitive damages even if STR has been advised of the possibility of such damages. Furthermore, STR shall have no liability whatsoever for any claim relating in any way to any decision made or action taken by licensee in reliance upon the licensed materials.

2.3 Limitation of Liability. STR's total liability to licensee for any reason and upon any cause of action including without limitation, infringement, breach of contract, negligence, strict liability, misrepresentations, and other torts, shall be limited to all fees paid to STR by the licensee during the twelve month period preceding the date on which such cause of action first arose.

3. MISCELLANEOUS

3.1 Liquidated Damages. In the event of a violation of Section 1.5 of these Standard Terms and Conditions, Licensee shall be required to pay STR an amount equal to the sum of (i) the highest aggregate price that STR, in accordance with its then-current published prices, could have charged the unauthorized recipients for the Licensed Materials that are the subject of the violation, and (ii) the full price of the lowest level of republishing rights that Licensee would have been required to purchase from STR in order to have the right to make the unauthorized distribution, regardless of whether Licensee has previously paid for any lower level of republishing rights, and (iii) fifteen percent (15%) of the total of the previous two items. This provision shall survive indefinitely the expiration or termination of this Agreement for any reason.

3.2 Obligations on Termination. Within thirty (30) days of the termination or expiration of this Agreement for any reason, Licensee shall cease all use of the Licensed Materials and shall return or destroy, at STR's option, all copies of the Licensed Materials and all other information relating thereto in Licensee's possession or control as of the such date. This provision shall survive indefinitely the expiration or termination of this Agreement for any reason.

3.3 Governing Law; Jurisdiction and Venue. This Agreement shall be governed by the substantive laws of the State of Tennessee, without regard to its or any other jurisdiction's laws governing conflicts of law. Any claims or actions regarding or arising out of this Agreement shall be brought exclusively in a court of competent jurisdiction located in Nashville, Tennessee, and the parties expressly consent to personal jurisdiction thereof. The parties also expressly waive any objections to venue.

3.4 Assignment. Licensee is prohibited from assigning this Agreement or delegating any of its duties under this Agreement without the prior written consent of STR.

3.5 Independent Relationship. The relationship between the parties is that of an independent contractor. Nothing in this Agreement shall be deemed to create an employer/employee, principal/agent, partnership or joint venture relationship.

3.6 Notices. All notices required or permitted to be given hereunder shall be in writing and shall be deemed given i) when delivered in person, at the time of such delivery; ii) when delivered by facsimile transmission or e-mail, at the time of transmission (provided, however, that notice delivered by facsimile transmission shall only be effective if such notice is also delivered by hand or deposited in the United States mail, postage prepaid, registered, certified or express mail or by courier service within two (2) business days after its delivery by facsimile transmission); iii) when delivered by a courier service or by express mail, at the time of receipt; or iv) five (5) business days after being deposited in the United States mail, postage prepaid, registered or certified mail, addressed (in any such case) to the addresses listed on the first page of this Agreement or to such other address as either party may notify the other in writing.

3.7 Waiver. No waiver of any breach of this Agreement will be deemed to constitute a waiver of any subsequent breach of the same or any other provision.

3.8 Entire Agreement. This Agreement constitutes the entire agreement of the parties with respect to the matters described herein, superseding in all respects any and all prior proposals, negotiations, understandings and other agreements, oral or written, between the parties.

3.9 Amendment. This Agreement may be amended only by the written agreement of both parties.

3.10 Recovery of Litigation Costs. If any legal action or other proceeding is brought for the enforcement of this Agreement, or because of an alleged dispute, breach, default or misrepresentation in connection with any of the provisions of this Agreement, the successful or prevailing party or parties shall be entitled to recover reasonable attorneys' fees and other costs incurred in that action or proceeding, in addition to any other relief to which it or they may be entitled.

3.11 Injunctive Relief. The parties agree that, in addition to any other rights or remedies which the other or STR may have, any party alleging breach or threatened breach of this Agreement will be entitled to such equitable and injunctive relief as may be available from any court of competent jurisdiction to restrain the other from breaching or threatening to breach any of the provisions of this Section, without posting bond or other surety.

3.12 Notice of Unauthorized Access. Licensee shall notify STR immediately upon Licensee's becoming aware of any facts indicating that a third party may have obtained or may be about to obtain unauthorized access to the Licensed Materials, and shall fully cooperate with STR in its efforts to mitigate the damages caused by any such breach or potential breach.

3.13 Conflicting Provisions. In the event that any provision of these Standard Terms and Conditions directly conflicts with any other provision of the Agreement, the conflicting terms of such other provision shall control.

3.14 Remedies. In addition to any other rights or remedies that STR may have, in the event of any termination by STR on account of a breach by Licensee, STR may, without refund, immediately terminate and discontinue any right of Licensee to receive additional Licensed Materials from STR.