



Village of Lincolnwood Plan Commission

Meeting

Wednesday, June 24, 2015

7:00 P.M.

in the

Council Chambers Room

Lincolnwood Village Hall - 6900 Lincoln Avenue

Meeting Agenda

- 1. Call to Order/Roll Call**
- 2. Workshop: Planned Unit Development Conceptual Plan Review: South Bay Partners - 3400 West Pratt Avenue**
Description: Proposal to Develop a Senior Facility
- 3. Other Business**
- 4. Public Comment**
- 5. Adjournment**



MEMORANDUM

TO: Chairman Eisterhold
Members of the Plan Commission

FROM: Aaron N. Cook, AICP
Development Manager

DATE: June 19, 2015

SUBJECT: Plan Commission Workshop – Review of South Bay Partners Senior
Development Submittal

South Bay Partners has submitted for consideration an application for Conceptual Plan Review by the Plan Commission. The Conceptual Plan Review is an optional step in the Planned Unit Development (PUD) process. The application includes information including but not limited to:

- Concept Site Plan
- Schematic Landscape Plan
- Tree Survey
- Tree Survey List
- First Floor Plan
- Second Floor Plan
- Typical Floor Plan 3/4 Floors
- Preliminary Renderings

Prior to the scheduled Plan Commission workshop staff convened the Development Review Team. This staff team consists of representatives of the following Departments: Police; Fire; Public Works, Community Development; as well as, the Village Engineer and Village Landscape Consultant.

This team met on June 17, 2015 to discuss the information submitted by South Bay and its team. Attached are the written review comments from the department representatives. Representatives of South Bay were also present at the June 17th Review Team meeting.

At the June 24, 2015 Plan Commission Workshop staff anticipates the developer will provide a presentation and be available to answer questions. To assist the Commission, Community Development Department staff will be present.

Attachments:

1. Development Review Team Report
2. Petitioner Submitted Plans/Documents
 - a. First Floor Plan
 - b. Second Floor Plan
 - c. Typical Floor Plan 3/4 Floors
 - d. Preliminary Renderings
 - e. Concept Site Plan
 - f. Schematic Landscape Plan
 - g. Tree Survey
 - h. Tree Survey List



**Village of Lincolnwood
Development Review Team
Summary Review**

**Proposed Senior Development
South Bay Partners**

3400 Pratt Avenue

(Former Bell & Howell site)

Review Date: June 17, 2015

Nature of Request

South Bay Partners and its team, propose a Senior facility for the 13.5 acre former Bell & Howell site. The proposal includes 251 Independent Living units, 90 Assisted Living units; and 44 Memory Care units for a total unit count of 385 units, which are proposed as a mix of studio, 1 and 2 bedroom units. In addition to living units, the facility includes communal dining rooms, activity areas, a Wellness Center and indoor pool.

This proposal consists of a single 4 story building with a 2 story connector segment between wings of the building. Major building entrances front onto the Northeast Parkway where two curb cuts are proposed. A single curb cut on Pratt Avenue is also proposed. 304 parking spaces for the development are proposed with 145 parking spaces located in an enclosed garage having a green roof and 159 parking spaces are located elsewhere on the property. The existing storm water detention basins located along Pratt Avenue are proposed to be retained with an expansion to connect the two existing basins.

Village Actions Required

- Zoning Approval by Village. See Community Development Report for details.

Other Actions Required

- WMO Permit from MWRD
- NPDES Storm Water Permit from IEPA

Summary of Staff Review Comments

- Add benches/trash receptacles on site plan at various property locations. Consider planters nears entranceways for seasonal flowers
- Consider a designated walking route on property for residents, consider extending sidewalk west in panhandle to Central Park, and extend sidewalk eastward on north side of detention area
- Add Stop Sign and Stop Bar notations to plans at all driveway exits
- Add thermoplastic pedestrian crosswalks to plans at driveway crossings and as appropriate throughout development
- Identify on site plan location(s) for site signage
- Identify refuse holding area(s) on the property (none indicted)
- Describe the Green Roof amenity and provide details concerning the proposed patio area
- For the 2 parking lots on the north side, add landscape buffers along street side and extend Pratt Avenue berm in area where drive lane is being removed
- Add trees to all parking bay row end caps
- Add dimensions to site plan as indicated by departments and confirm public sidewalks are 5 feet in width
- Review sight line and existing trees at west entrance from Northeast Parkway
- Provide landscape details for detention area
- Identify proposed size and location of water and sewer connections. Connections must be approved by Public Works
- Disconnection and abandonment of existing 10" public water main traversing the site is required
- Installation of a Knox Box by the Fire Department will be required
- Water supply for fire suppression must be reviewed and is recommended to be looped within the project
- Fire Department desires 18ft X 35ft ambulance garage and 14ft X 15 ft. office with bathroom access for on-site manning of an ambulance crew

- Identify fire hydrant locations. Existing locations may require abandonment
- Existing Storm Water Management Easements for the detention area need to be expanded or the ponds decreased based on HWL
- Easement required for public sidewalk areas located on private property
- Final Engineering Plans to include topographical elevations and other requirements as noted by the Village Engineer
- Fire Sprinkler system and fire alarm system required for building

Additional Documents Required/Requested

- Provide information as noted on attached Zoning Review Worksheet
- Confirm that the independent living component meets the Village's definition of Independent Living Facility
- Provide a narrative summary of prior projects by developer
- Submit an updated Land Survey
- Provide a Traffic Impact Report and Parking Supply Study
- Identify number, type and typical route for service delivery vehicles
- Provide an Economic Impact Report
- Provide Renderings of project from Pratt Avenue and Northeast Parkway perspective
- Provide the sign package for property
- Provide information to Village Engineer concerning the IEPA NFR letters issued for the property
- Provide easement document for public sidewalk located on private property
- Provide Easement document for existing sewer located on east side of property (unless it is to be abandoned)
- Provide Photometric Lighting Plan for property, consistent with Code
- Prior to building permit issuance, submit fire sprinkler, fire alarm and fire hydrant plans for review and approval
- Prior to site occupancy, provide a security plan for approval by the Police Chief

Recommended Development Approval Conditions

- Submit a Security Plan for the property for Police Chief approval prior to issuance of the Certificate of Occupancy
- Plans to include dedicated space for Fire Department use to include at minimum 18'X35 ambulance garage with 12X12' garage door along with 14'X15' office space with bathroom

- Approval by Public Works of the disconnection and abandonment of the existing 10" water main traversing property

See attached specific department comments and reviews for additional details



Village of Lincolnwood

**Individual Department Reviews
South Bay Senior Development
3400 Pratt Avenue**



Community Development Development Review

Project Information

Petitioner or Project Name: South Bay Partners

Subject Property Address: 3400 Pratt Avenue

List and Date of Plans Reviewed

Concept Site Plan dated June 9, 2015 by Mackle Consultants

The following Plans prepared by Daniel Weinbach & Partners Ltd.

- Schematic Landscape Plan dated June 9, 2015
- Tree Survey dated June 9, 2015
- Tree Survey list dated June 9, 2015

The following Plans prepared by Jensen & Halstead Ltd.

- First Floor Plan Dated June 9, 2015
 - Second Floor Plan Dated June 9, 2015
 - Typical Floor Plan 3/4 Floors Dated June 9, 2015
- Preliminary Renderings Dated June 9, 2015

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Reviewer Information

Name of Reviewer Clarke/Cook
Reviewer Contact Information TClarke@lwd.org (847-745-4710) or ACook@lwd.org (847-745-4796)
Date of Plan Review June 15, 2015

Pertinent Plans, Policies and Reports

- The subject property is designated as Industrial on the Future Land Use Map contained in the Village's 2001 Comprehensive Plan
- The Subject Property is within the NEID TIF District. Pursuant to Village Board policy TIF Funds may only be used to assist non-residential projects and if residential development in the TIF occurs, the Village shall consider removal of such property from the TIF District if practical
- The 2010 Retail Feasibility Report prepared for the Village noted a lack of retail demand to the subject property and indicated that a senior development of the subject property appeared suitable

Action(s)/Approval(s) Required

Zoning approval for the project is required. Based on plans presented, the developer may choose between two zoning approval processes: 1) traditional zoning approval; or 2) approval via a Planned Unit Development (PUD). Both approaches require a public hearing before the Plan Commission and subsequent approval by the Village Board.

Traditional Zoning Approval

1. Approval of Special Use(s) and Zoning Code Variation(s) (as may be determined)
 - Variation(s) require the showing of a hardship

or

PUD Zoning Approval

2. Approval of Special Use(s) and PUD Approval
 - PUD process does not require the showing of a hardship and can provide greater flexibility.
 - Process begins with Village Board Presentation/Referral for Public Hearing (July 21, 2015).
 - PUD requires land dedication for recreational use.
 - PUD process requires preliminary PUD approval and Final PUD approval which may require separate hearings.

The requisite Public Hearing before the Plan Commission will be scheduled upon application submission and payment of the required public hearing fee.

Applicable Regulations/Requirements

The Village of Lincolnwood Zoning Code is applicable to this project for zoning approval. Based on plans reviewed, there is no Village requirement for subdivision of the property. Building and site construction is governed by the Village's set of Building Codes.

Additional Documents or Information Required/Requested

- The proposed senior uses are considered Special Uses by the Village for this site. Confirm that the Independent Living component meets the Village definition of Independent Living Facility (found below).
A housing development:
 - (1) Consisting of individual dwelling units, intended for occupancy by not more than three persons;
 - (2) In which occupants are provided common services, such as dining facilities, housekeeping, transportation, and social and recreational facilities, but to whom daily living or nursing services are not provided; and
 - (3) Which dwelling units are solely occupied by persons who are either: i) 62 years of age or older; or ii) satisfy one or more exceptions set forth in 24 C.F.R. § 100.303, as may be amended, to the provisions of the Federal Fair Housing Act (42 U.S.C. § 3601 et seq., as may be amended) governing housing for older persons.
- Due to the size of the proposed project, staff recommends the following reports/studies be prepared for consideration at the requisite public hearing:
 - Traffic Impact Report,
 - Parking Supply Study, and
 - Economic Impact Report.
- Submit an Updated Land Survey for property.
- Summarize prior projects completed by developer.
- Provide Rendering perspectives of proposed project from both Pratt Avenue and Northeast Parkway.
 - Submit a photometric lighting plan for the property in conformance with Village lighting standards.
 - Submit Sign Package and locate on site plan location of any freestanding sign(s).

Plan Review Comments

Pedestrian

- Add benches and trash receptacles at various property locations. Consider planter boxes near main entrances for seasonal flowers.
- Confirm 5 foot width for public sidewalks planned along Pratt and Northeast Parkway and provide public easement for these sidewalks at locations where sidewalk crosses onto subject property.
- Extend proposed sidewalk located along the north side of the detention basin to connect with sidewalk shown east of detention basin.
- Add to plans, crosswalks at all driveway access points and key pedestrian crossings within development. Crosswalks to be comprised of thermoplastic material.
- Consider extending sidewalk westward to Central Park on subject panhandle parcel. Consider a walking route on the property for independent residents of the development.
- Provide more detail on proposed patio area.

Traffic

- Add stop sign and stop bar notations at all exits on plans.
- Identify number, type and typical route for service delivery trucks for development.

Site Amenities

- Describe the green roof amenity and whether it is intended for use by residents of the development.

Recommended Development Approval Conditions

- None

Zoning Review Worksheet

June 15, 2015

Subject Property: 3400 Pratt Avenue

ZONING CALCULATIONS

TOTAL LOT AREA: 581,962
SQUARE FEET

BUILDING AREA: 487,700
SQUARE FEET



	<u>MAX. PERMITTED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
TOTAL LOT COVERAGE:	SF	318,006	NO
MINIMUM LOT AREA:		581,962	NO
FLOOR AREA RATIO:	1.2 (698,354 SF)	.838	NO
BUILDING HEIGHT:	55 FT or 5 Stories whichever is less	55'	Additional Information Needed

Notes: Need building height to determine compliance with maximum height requirement.

ZONING SETBACKS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
Front yard setback:	30 Ft.	55 Ft.	NO
Interior side yard setback:	5 Ft	90 Ft.	NO
Interior side yard setback:	5 Ft.	100 Ft.	NO
Rear yard setback:	75 Ft.	150 Ft.	NO

Notes: Northeast Parkway will be considered front lot line. Building height above 45 feet results in an additional one foot setback for each foot above 45 feet.

OFF-STREET PARKING REQUIREMENTS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
Location	Rear and Side Yard Only	Located between Proposed Building and streets	YES
Number of Spaces:	285 + FTE's	304	Additional Information Needed
Number of Handicap Spaces:	8	11	NO
Size of Spaces:	9' x 18'	9' x 18.5'	NO

Driveway Dimension:	24'	27'	NO
Drive Aisle Dimension:	24'	24'-27'	NO

Notes:

Assisted living, community residence, nursing and personal care facility

1 space per 4 residents, plus 1 space per each full-time employee

Independent living facility or senior housing facility

1 space per dwelling unit, plus 1 space per every 2 full-time employees

Requirements above are tentative and based on information available. Need information on number of full-time employees (FTE).

MINIMUM LANDSCAPE REQUIREMENTS

PERIMETER LOT SCREENING

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
Setback width:	8 feet (no overhang)		Additional Information Needed
Screening:	continuous 3 feet		Additional Information Needed
Concrete curb separation:	6 inch required		Additional Information Needed

Notes: Need setbacks and dimensions on site and landscape plan to determine compliance with perimeter landscape requirements.

INTERIOR LOT LANDSCAPING

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
End Cap Islands Provided:	ends of parking row	Shown	NO
Interior Islands Provided:	every 20 Spaces	Shown	NO
Size of Islands:	9X20 feet		Additional Information Needed
Island Trees:	1 per island	Shown	As shown generally comply
Size of Island Trees:	2 1/2 caliper		Verify on Final Landscape Plan
Non-parking areas 50+ s.f.:	pervious/vegetative	Shown	NO
Island Topsoil Depth:	3 feet depth		Verify on Final Landscape Plan

Notes: Need setbacks and dimensions on site and landscape plan to determine compliance with interior landscape requirements.

FOUNDATION PLANTING REQUIREMENTS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
Setback Width:	6 feet front and sides of bldg.	Shown	Add dimensions to site/landscape plan to verify compliance
Concrete Curb:	6 inch required		Verify on Final Engineering Plan

Notes: None

PARKWAY LANDSCAPING REQUIREMENTS

	<u>REQUIRED</u>	<u>PROPOSED</u>	<u>VARIATION REQUIRED</u>
Parkway Plantings:	Sod or Vegetative Ground Cover	Shown	NO
Impervious Material In Parkway:	All impervious material prohibited	None Shown	NO
Structure/Obstructions In Parkway:	No structures or obstruction may be erected	None Shown	NO
Parkway Trees:	One parkway tree for each 25 lineal feet	Existing and Proposed Shown	Verify on Final Landscape Plan
Public Sidewalks:	A 5-foot public sidewalk in B1, B2 & M Districts	Shown	Easement Required

Notes: None

REVIEWED BY: Aaron N. Cook, AICP

DATE: June 15, 2015



Landscaping Review Development Review

Project Information

Petitioner or Project Name South Bay Partners
Subject Property Address 3400 W. Pratt Avenue
List and Date of Plans Reviewed Site plan prepared by Mackie Consultants Schematic Landscape Plan prepared by David Weinbach & Partners Ltd. Tree Survey prepared by David Weinbach & Partners Ltd. Tree Survey List prepared by David Weinbach & Partners Ltd.
Nature of Proposal Review of schematic landscape plan and associated existing tree survey in relationship to proposed development.

Review Information

Name of Reviewer: Douglas Gotham, RLA
Reviewer Contact Information: CBBEL, 847-823-0500 dgotham@cbbel.com
Date of Plan Review: 6-18-15

Action(s)/Approval(s) Required

- None

Applicable Regulations/Requirements

- Village Code – Chapter 15, Article VI: Site Development Standards Part D. Landscaping

Additional Documents or Information Required/Requested

- As the project progresses we will need to review detailed landscape and irrigation plans plus details of selected site elements such as benches, pedestrian level lighting, and fencing.
- Final plans will need to show tree protection techniques and replacement

Plan Review Comments

- The two parking lots on the north side of the development will need landscape buffers along the street side. See attached Illustration.
- All planting beds at the ends of the parking bay rows need to have trees as indicated section 6.14, item (2) b. See attached Illustration.
- The site plan indicates a 'patio area' on the north side of the building. Will this area be fenced? If so, what is the height, style and material of the fencing?
- No exterior refuse holding areas are indicated. Will there be any? If so they will need to be screened with landscaping.
- At the west entrance along Northeast Parkway three spruce trees are indicated to be saved which is commendable but I am concerned about traffic visibility at the intersection of the entrance and the east – west internal roadway.
- On the site plan a detention basin is shown on the south side of the development. Where is its overland flow route and how is that handled in the landscaping? How will the shoreline (emergent zone) be treated? How are the areas around the inlets and outlets treated?
- Will there be any downspouts on the building and if so how will they be handled in the landscape?
- The previous development provided a berm and extensive landscaping along West Pratt Avenue and we can see that it is the intent of the developer to save and maintain it, however we suggest that this berm and quality of landscape be continued in the area of the former south entrance.

Recommended Development Approval Conditions

- None as of now.

Need a landscape buffer here

NORTHEAST PARKWAY

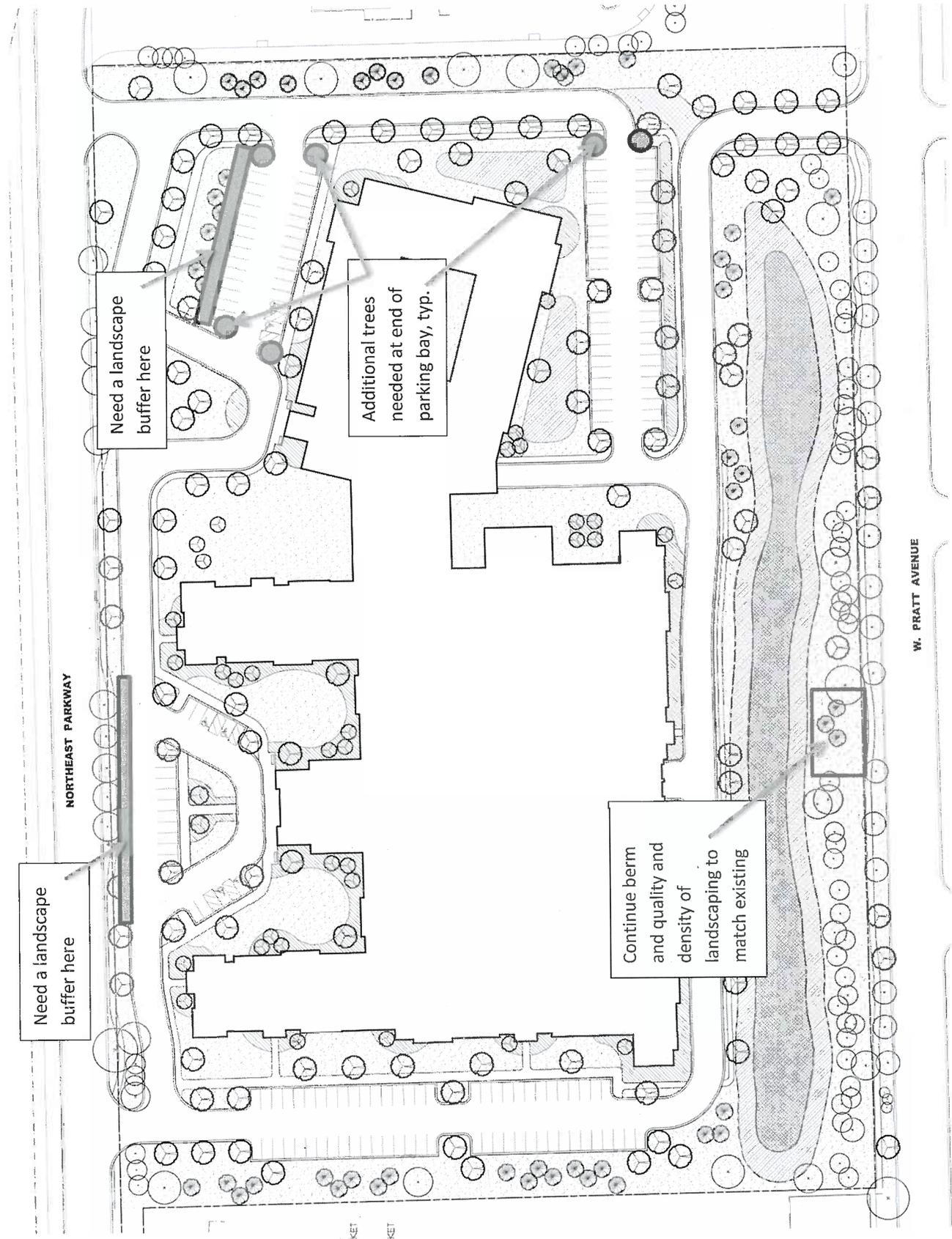
Need a landscape buffer here

Additional trees needed at end of parking bay, typ.

Continue berm and quality and density of landscaping to match existing

W. PRATT AVENUE

MIX LANEET
IX LANEET





Lincolnwood Engineering Department

Development Review

Project Information

Petitioner or Project Name: South Bay Partners

Subject Property Address: 3400 West Pratt Avenue

List and Date of Plans Reviewed:

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- ALTA/ACSM survey prepared by Manhard Consultants Dated May 19, 2015
- Concept Site Plan dated June 9, 2015 by Mackle Consultants

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Review Information

Name of Reviewer:	James Amelio, PE
Reviewer Contact Information:	p:847.745.4862 jamelio@lwd.org
Date of Plan Review:	June 15, 2015

Action(s)/Approval(s) Required

- This project will require a Watershed Management Ordinance (WMO) permit from Metropolitan Water Reclamation District of Greater Chicago (MWRDGC) for runoff requirements, volume control, and potentially qualified sewer construction.
- This project will require an NPDES Stormwater permit from the Illinois Environmental Protection Agency for the site disturbance.

Applicable Regulations/Requirements

- Project is subject to WMO requirements

Additional Documents or Information Required/Requested

- Provide a Lighting and Photometric Plan for the property consistent with Code

Plan Review Comments:

- The final engineering submittal shall include separate plan sheets for demolition activities and proposed activities. The plans shall be at a standard engineering scale.
- The ALTA/ACSM Survey notes that several NFR letters are recorded against the site (00201383325 and 0819134103). The applicant should provide the information to the Village and his design team to ensure that areas containing contaminated materials are not disturbed by the proposed scope of work.
- The boundary of the HWL for the southern detention pond extends beyond that of the existing stormwater management easements. Either the footprint of the easement will need to be increased or the footprint of the detention pond will need to be decreased.
- The final engineering plans shall indicate if the existing sanitary service will be reused or abandoned. The installation of a grease separator will need to be included within the scope of the improvements.
- The final engineering plans shall indicate if the existing water service line will be partially reused or abandoned entirely. Portions of the existing main will need to be removed to allow for the building's construction, but a portion of it can be saved to use as its building service line for both domestic and fire suppression use.

- No existing or proposed topographic elevations are shown on the submitted plans. The final engineering submittal shall include all existing and proposed site grading.
- The final engineering submittal shall include all applicable pavement and utility standard details and specifications.
- The final engineering submittal shall include all applicable SESC standard details and specifications

Recommended Development Approval Conditions

- None



Lincolnwood Public Works Department

Development Review

Project Information

Petitioner or Project Name: South Bay Partners

Subject Property Address: 3400 Pratt Avenue

List and Date of Plans Reviewed:

- ALTA/ACSM survey prepared by Manhard Consultants dated May 19, 2015
- Concept Site Plan prepared by Mackle Consultants dated June 9, 2015

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Review Information

Name of Reviewer:	Andrew Letson, Assistant to the Public Works Director
Reviewer Contact:	Work: 847-745-4851 aletson@lwd.org
Date of Plan Review:	June 16, 2015

Action(s)/Approval(s) Required

- Location and size of water and sewer connections must be approved
- Disconnection and abandonment of the existing 10" water main
- Disconnection and abandonment of the existing fire hydrants
- Locations of new fire hydrants and connections to existing or new water main
- Removal of parkway trees

Applicable Regulations/Requirements

- Section 12-2 (Water Main and Sewer Connections)
- Section 6-1-1 (Sidewalk Construction)
- Section 6-5-10 (Application for Parkway Tree Removal)

Additional Documents or Information Required/Requested

- Water and sewer connections are not indicated on the plan, please provide a detail regarding their size and location
- Please provide the location of proposed fire hydrants on the property

Plan Review Comments:

- New sidewalks must be installed with a minimum width of 5 feet. Please identify who will be responsible for the maintenance of the sidewalk along Northeast Parkway. If it is to be the Village, an easement will need to be granted.
- Note that the combined sewer on Northeast Parkway is a MWRD interceptor and cannot be used for connection to the facility's sewer service. The combined sewer on Pratt Avenue is approximately 16-18 feet deep. There is an existing combined sewer that runs approximately 78 feet from the east side of the property that can be used for connection of the service line. Since this is a public sewer, the Village is going to require an easement. If the applicant wishes to have the sewer abandoned, it will need to be properly disconnected at the connection on Pratt.
- Pratt Avenue was resurfaced approximately 3 years ago, as such; it would be preferable to connect the water service to the main on Northeast Parkway

- The existing street lights need to be maintained
- Any parkway trees proposed for removal need to be evaluated by the Village Arborist and either replacement or payment into a fund for use in planting parkway trees in other parts of the Village may be required.

Recommended Development Approval Conditions

- Development may only proceed upon successful disconnection and abandonment of the existing 10" public water main located on the property



Map created on June 15, 2015.
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 Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist, and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



LINCOLNWOOD FIRE DEPARTMENT

6900 N. LINCOLN AVENUE – LINCOLNWOOD, ILLINOIS - 60712

PHONE: 847-673-1545 FAX: 847-673-7456

Development Review

Project Information

Petitioner or Project Name: Senior Housing Development
Subject Property Address: 3400 Pratt
List and Date of Plans Reviewed: Plat of Survey, Conceptual Site Plan, Landscape Plan, Preliminary Renderings & Floor Plans – Reviewed 6-10-2015
Nature of Proposal: 251 Independent Living Units, 90 Assisted Living, and 44 Memory Center Units, for a total of 385 units in two 4 story structures with a two story connector comprised of common areas and shared back-of-house functions.

Review Information

Name of Reviewer: Lt. Clyde Heineman
Reviewer Contact Information: Lincolnwood Fire Department – 847-673-1545 – cheineman@lwd.org
Date of Plan Review: 6-10-2015

Action(s)/Approval(s) Required

- Fire sprinkler plans to be submitted, reviewed, and approved prior to construction of the system.
- Fire alarm plans to be submitted, reviewed, and approved prior to construction of the system.
- Fire hydrant layout plans to be submitted, reviewed, and approved prior to construction of the system.

Applicable Regulations/Requirements

- All plans will be reviewed to the currently adopted versions of the NFPA code set including, *but not limited to* NFPA 1 Fire Code 2009 Edition, NFPA 13 Standard for the Installation of Sprinkler Systems 2010 Edition, NFPA 70 National Electrical Code® 2011 Edition, NFPA 72 National Fire Alarm and Signaling Code 2010 Edition, NFPA 80 Standard for Fire Doors and Other Opening Protectives 2010 Edition, NFPA 101® *Life Safety Code*® 2012 Edition, NFPA 110 Standard for Emergency and Standby Power Systems 2010 Edition, as well as the 2006 International Fire Code and local amendments.

Additional Documents or Information Required/Requested

- The calculation of all spaces for occupancy loads, exit requirements, and travel distances to be provided in accordance with 2012 *Life Safety Code* "Table 7.3.1.2 Occupant Load Factor".

Building Square Footage: Unknown
Proposed Occupancy Type: Residential Apartments, Ambulatory Healthcare, Healthcare
Proposed Occupancy Load: To Be Determined

Plan Review Comments

- The current proposed position of the structure on the site appears to provide ready access on all sides for fire suppression purposes.
- Water supply for fire suppression to be addressed. Fire hydrants on a looped supply within the project and integrated with the existing water supply lines on Pratt Avenue to the south and Northeast Parkway to the north recommended. This interior loop connected on both the north and south to the existing village mains will help to avoid any "dead end" effect.
- A NFPA 13 compliant sprinkler system shall be installed throughout.
- Fire Department Connection location to be within 100' of a fire hydrant. Fire Department Connection location to be determined in conjunction with the Fire Prevention Bureau, the sprinkler contractor and the plan reviewer prior to final design.
- A complete fire alarm system compliant with NFPA 72® National Fire Alarm & Signaling Code shall be provided as required by NFPA 101® *Life Safety Code*®.
- The fire alarm system is required to be connected to the fire department dispatch center by way of the Village of Lincoln fire alarm radio network. The fire alarm contractor will be required to coordinate with the Village of Lincoln for installation of the radio by the Village's radio contractor at the completion of the alarm systems installation.

Recommended Conditions

- The fire department proposes the addition of an integrated 18'x35' ambulance garage with 12'x12' garage door and accompanying 14'x15' office with bathroom facilities for daily manning of an on-site ambulance and crew.
 - The installation of a Knox Box® (Key Box) at the entrance(s) chosen by the fire department will be required.
-



LINCOLNWOOD POLICE DEPARTMENT

6900 N. Lincoln Avenue, Lincolnwood, IL 60712

(847) 673-2167

Development Review

Project Information

Petitioner or Project Name:	CenterPoint/South Bay Partners
Subject Property Address:	3400 West Pratt Avenue
List and Date of Plans Reviewed:	June 16, 2015. Site Plan prepared in concert with Jensen & Halstead Architects and Charles Hall Construction.
Nature of Proposal:	Review of the plans on the site for a four story single structure independent living, assisted living and memory care facility

Review Information

Name of Reviewer:	Lieutenant Randall Rathmell			
Reviewer Contact Information:	Work:	847 745-4751	Cell:	847 980-7894
	Email	rrathmell@lwd.org		
Date of Plan Review:	June 16, 2015			

Action(s)/Approval(s) Required

- None

Applicable Regulations/Requirements

- None

Additional Documents or Information Required/Requested

- Photometric Lighting Plan
- A Security Plan

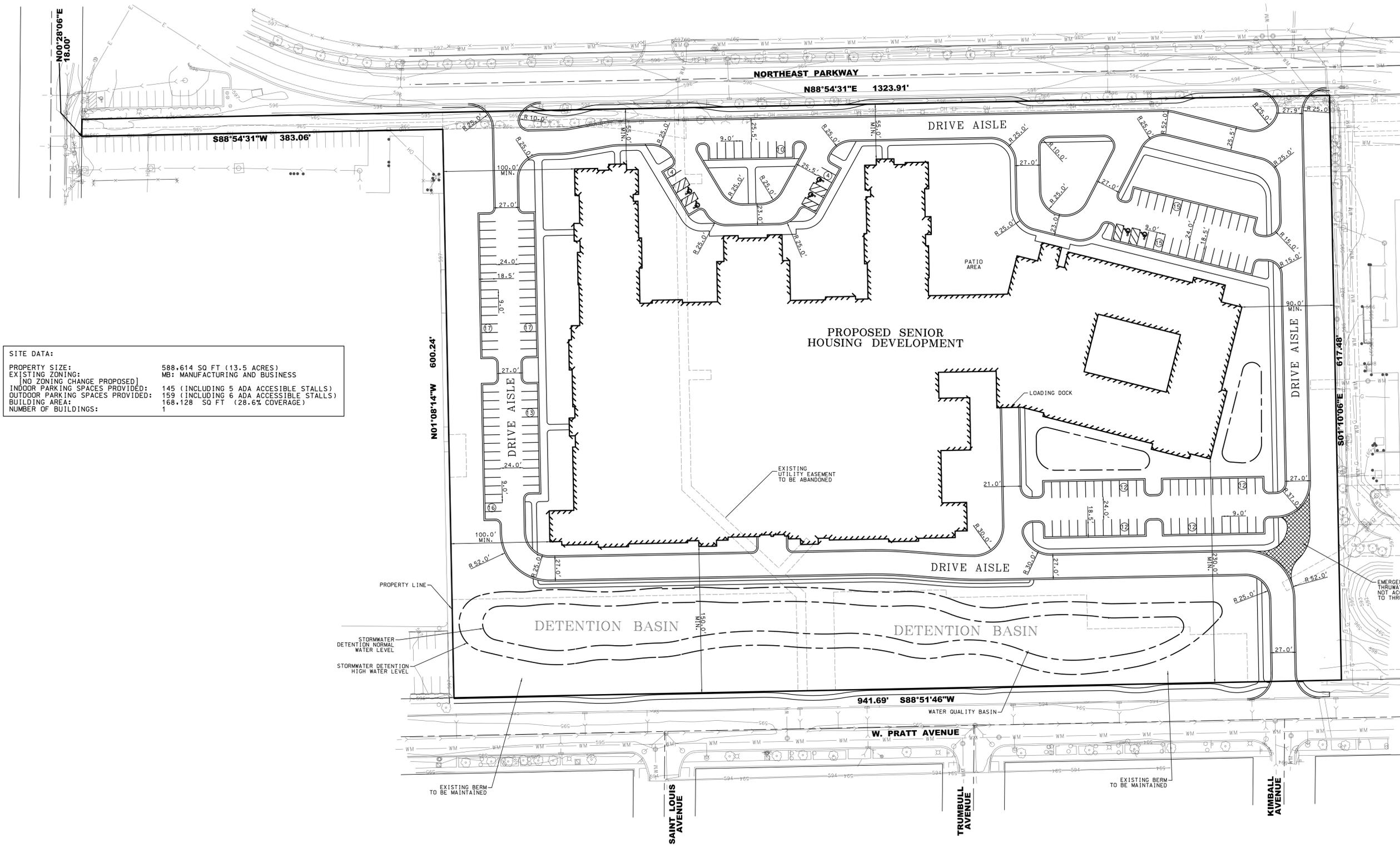
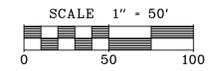
Plan Review Comments

- Consider installing Security Gates with locking mechanisms for the access driveways to maintain security after-hours
- Prepare a Security Plan for the property for approval by the Police Chief prior to issuance of the Certificate of Occupancy to include alarms, cameras, sensor lights, exterior video surveillance cameras and intrusion detectors made visible to potential offenders and to assist in any criminal investigation

- Request a traffic impact study to include parking and the installation of Stop signs, Stop bars and appropriate pedestrian crosswalks at the exit driveways onto Pratt Avenue and Northeast Parkway
- Consider the construction of public sidewalks on both Pratt Avenue and Northeast Parkway to facilitate the increase of pedestrian and pedestrian traffic near the property

Recommended Development Approval Conditions

- None



SITE DATA:

PROPERTY SIZE:	588,614 SQ FT (13.5 ACRES)
EXISTING ZONING:	MB: MANUFACTURING AND BUSINESS
[NO ZONING CHANGE PROPOSED]	
INDOOR PARKING SPACES PROVIDED:	145 (INCLUDING 5 ADA ACCESSIBLE STALLS)
OUTDOOR PARKING SPACES PROVIDED:	159 (INCLUDING 6 ADA ACCESSIBLE STALLS)
BUILDING AREA:	168,128 SQ FT (28.6% COVERAGE)
NUMBER OF BUILDINGS:	1

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Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:
SOUTH BAY PARTNERS
5307 E MOCKINGBIRD LANE
SUITE 1010
DALLAS, TX 75206

DATE	DESCRIPTION OF REVISION	BY

DESIGNED	KEH
DRAWN	KEH
APPROVED	DAS
DATE	6-9-15
SCALE	1" = 50'

**CONCEPT SITE PLAN
SENIOR HOUSING DEVELOPMENT
LINCOLNWOOD, ILLINOIS**

SHEET
1 OF 1
PROJECT NUMBER: 2676
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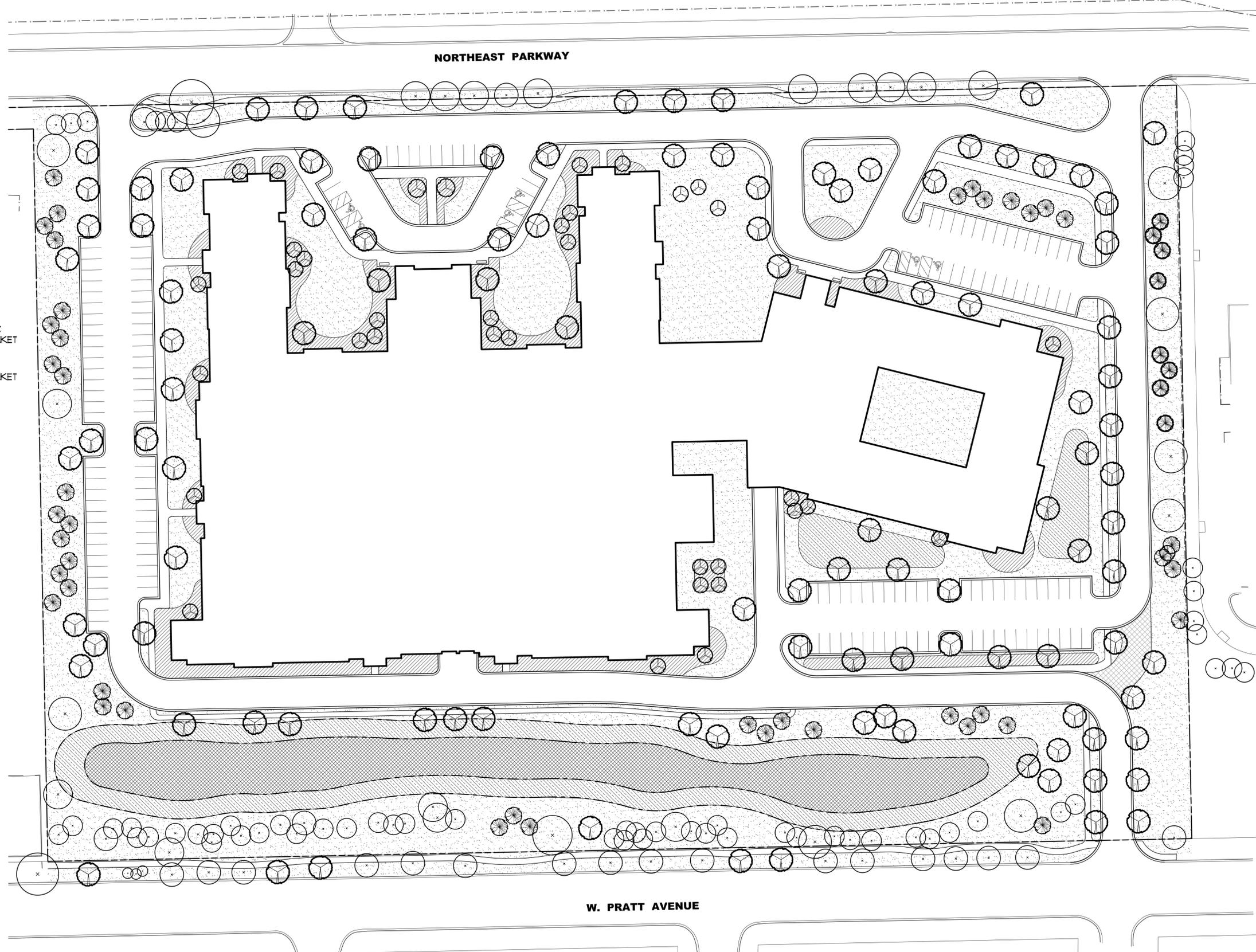
Landscape Architects

53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dwpitd.com

LEGEND

-  EXISTING TREE TO REMAIN
-  SHADE TREE - 2 1/2" CAL.
-  ORNAMENTAL TREE
-  EVERGREEN TREE
-  SHRUBS, PERENNIALS & GROUNDCOVER
-  SHREDDED BARK MULCH BED
-  LAWN
-  DETENTION BOTTOM SEED MIX WITH EROSION CONTROL BLANKET
-  DETENTION SLOPE SEED MIX WITH EROSION CONTROL BLANKET



1 SCHEMATIC LANDSCAPE PLAN 
SCALE: 1" = 40'-0"

Revisions	
8.	
7.	
6.	
5.	
4.	
3.	
2.	
1.	ISSUED VILLAGE SUBMITTAL 06/08/15

Project

**SENIOR
HOUSING
DEVELOPMENT**

3400 W. PRATT AVENUE
LINCOLNWOOD, ILLINOIS

Sheet Title

**SCHEMATIC
LANDSCAPE
PLAN**

Date 06/09/15	Project No. DWP 15-142
Scale 1" = 40'-0"	Sheet No. L-1.0
Drawn By EB	
Approved WS	

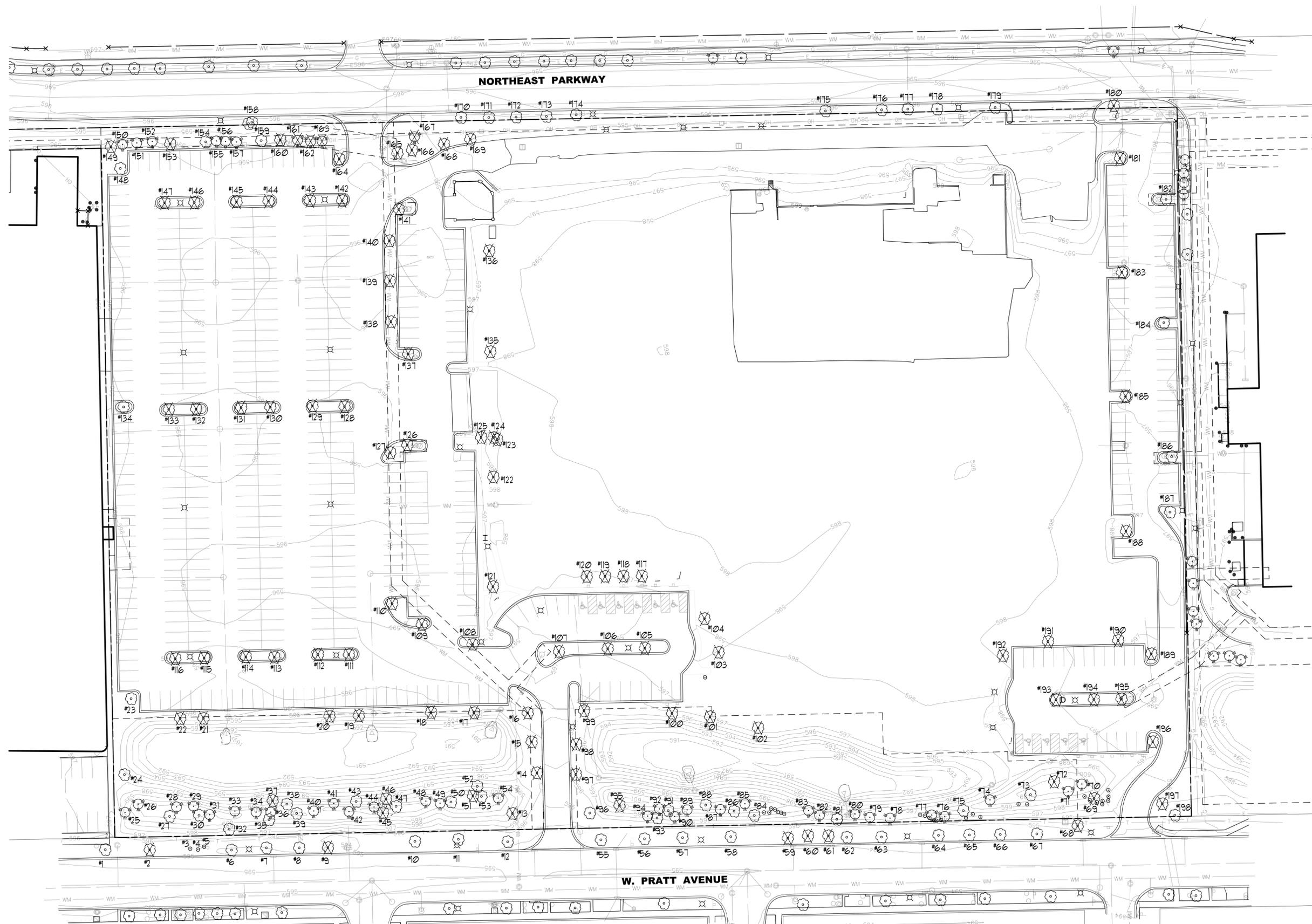


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① TREE SURVEY
SCALE: 1" = 40'-0"

TREES TO BE REMOVED

Revisions

- 8.
- 7.
- 6.
- 5.
- 4.
- 3.
- 2.

1. ISSUED VILLAGE SUBMITTAL 06/08/15

Project

**SENIOR
HOUSING
DEVELOPMENT**

3400 W. PRATT AVENUE
LINCOLNWOOD, ILLINOIS

Sheet Title

TREE SURVEY

Date

06/09/15

Project No.

DWP 15-142

Scale

1" = 40'-0"

Sheet No.

Drawn By

EB

L-1.0

Approved

WS



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TREE SURVEY

Table with 4 columns: TREE NO., SPECIES, SIZE, CONDITION. Rows 1-50.

Table with 4 columns: TREE NO., SPECIES, SIZE, CONDITION. Rows 51-100.

Table with 4 columns: TREE NO., SPECIES, SIZE, CONDITION. Rows 101-150.

Table with 4 columns: TREE NO., SPECIES, SIZE, CONDITION. Rows 151-200.

NOTE: TRIM ANY DEAD GROWTH OUT OF EXISTING TREES TO REMAIN.

Revisions

- 8.
7.
6.
5.
4.
3.
2.

1. ISSUED VILLAGE SUBMITTAL 06/08/15

Project

SENIOR HOUSING DEVELOPMENT

3400 W. PRATT AVENUE LINCOLNWOOD, ILLINOIS

Sheet Title

TREE SURVEY LIST

Table with 2 columns: Date, Scale, Drawn By, Approved. Values: 06/09/15, NOT TO SCALE, EB, WS.

Project No. DWP 15-142

Sheet No.

L-2.0