



LINCOLNWOOD, IL

# LINCOLNWOOD TOWN CENTER CONCEPT PLAN

June 21, 2022





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LINCOLNWOOD  
TOWN CENTER





## CHAPTER 1

# INTRODUCTION

The Lincolnwood Town Center is open for redevelopment. This is a significant opportunity to redefine this area of the Village. The 31-acre site, which would fit three of the Village's District 1860 development, is conveniently located by the Village's major roadways, has access to PACE and CTA bus routes, and is within proximity to the Village's employment base and residential neighborhoods. The Lincolnwood Town Center Concept Plan will provide a long-term vision for the Town Center area and will influence the types and design of future redevelopment. The Plan will also serve as a marketing tool to attract developer interest into the Town Center area.

## PLANNING CONTEXT

### NEID TIF Conceptual Development Plan

The Lincolnwood Town Center Concept Plan is an update to the Village's 2020 Northeast Industrial District (NEID) Tax Incremental Financing (TIF) Conceptual Development Plan. The NEID TIF Conceptual Development Plan established a comprehensive vision for the Village's NEID TIF to utilize the TIF before it expired at the end of 2020. The Plan recommended a series of physical improvements and site development within the NEID that should be implemented over the next 10-20 years.

### Washington Prime

#### *Former Owner*

Washington Prime Group is a national real-estate investment group who was the former owner of the Lincolnwood Town Center Mall. The NEID TIF Conceptual Development Plan envisioned an entertainment district with a mix of different land uses to be situated where the Lincolnwood Warehouse is currently located. However, because Washington Prime was developing a strategic plan for the mall at the time, the development concepts largely left the Lincolnwood Town Center Mall intact, since it was unclear of Washington Prime's long-term plans for the Town Center.

### Torchlight/Friedman

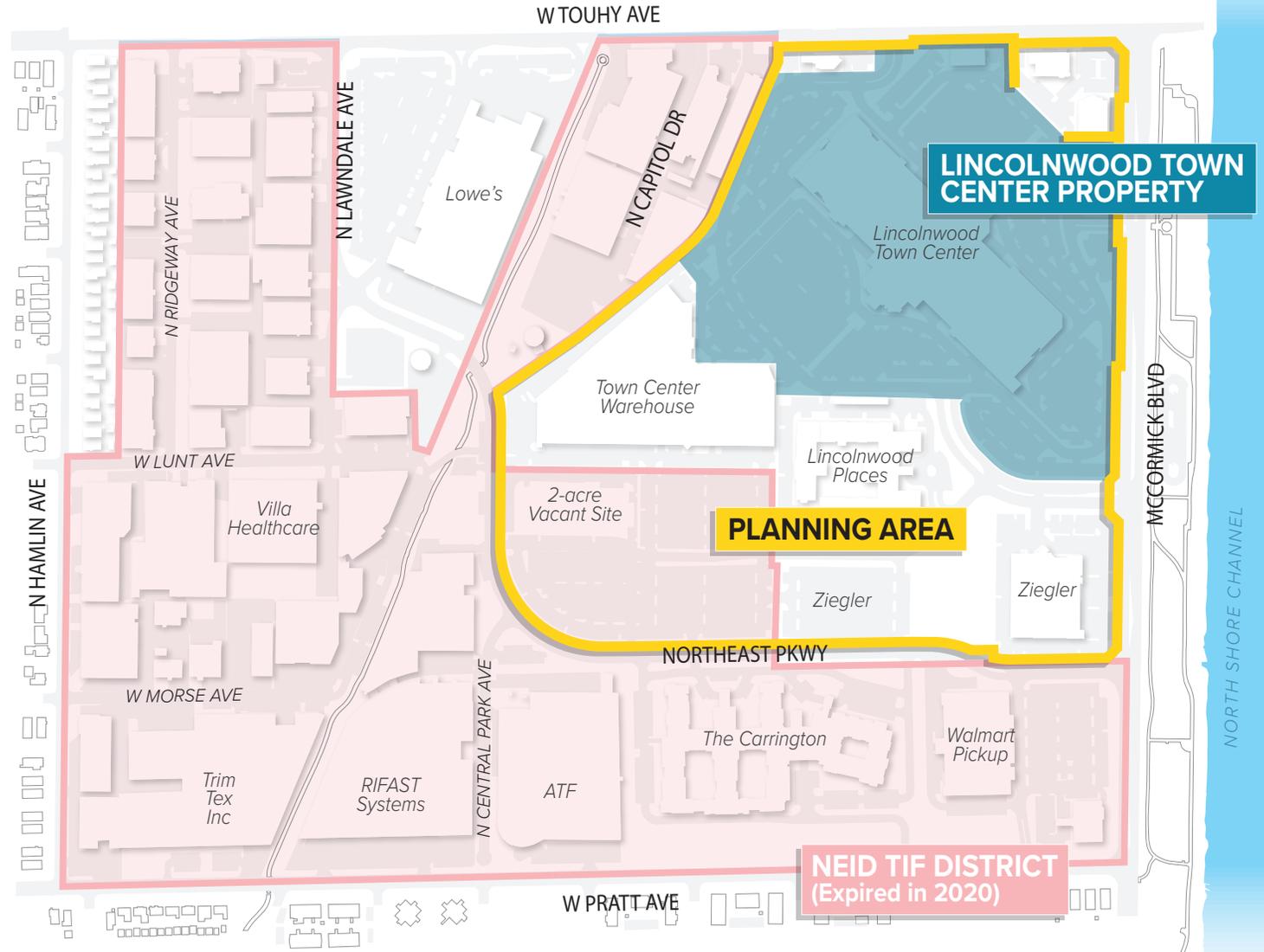
#### *New Ownership, New Direction*

In 2021, Torchlight/Friedman expressed interest in redeveloping the mall, which posed a substantial redevelopment opportunity in the Village of Lincolnwood. Since then, the Village has embarked on a planning process, alongside with Friedman/Torchlight, to establish a long-term vision and demonstrate development potential at the Lincolnwood Town Center site.



## PLANNING AREA

Given the property's visibility from, and proximity to the intersection of Touhy Avenue and McCormick Boulevard intersection, the Lincolnwood Town Center Concept Plan will prioritize the creation of an attractive live-work destination within the Lincolnwood Town Center property while complimenting existing land uses within the Lincolnwood Warehouse and Zeigler's inventory lots along the Northeast Parkway.





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## CHAPTER 2

# DEVELOPMENT PRINCIPLES

Development Principles are intended to inform and influence the land use program, planning elements, character and the suggested financial and infrastructure implications that future redevelopments should include within the Lincolnwood Town Center. The Development Principles were created through input received from the Advisory Committee, Village Board, Torchlight/Friedman, and Village Staff. The Development Principles will serve as a checklist for development proposals within the Lincolnwood Town Center area.



## Land Use & Urban Design

The development principles guiding land use and urban design concepts are primarily concerned with the projects land use programming, site and building design, and relationship between different developments. It is critical that as (re)development occurs within the Town Center site, the creation of an attractive and well-connected community is established. The development principles that fall within this theme are the following:

- Catalyst land uses
- Supporting land uses
- Less active uses
- Structure Parking
- Public and Private Amenities
- Building Design
- Solid Streetwall
- Walkable Blocks
- Trail Connections
- Third Places
- Streetscaping
- Gateways
- Screening and Landscaping

## Development Feasibility & Municipal Finance

The intent of these development principles is to ensure that future redevelopment positively contributes to the Village's municipal financial system and promote the most efficient use of local infrastructure. The following development principles are related to development feasibility and municipal services:

- Phased/ Incremental Approach
- Sound Municipal Fiscal Decision-Making
- Diversified Sources of Municipal Revenue
- Minimal Carbon Footprint
- Mitigate Stormwater Runoff
- Local Infrastructure's Efficiency



## LAND USE & URBAN DESIGN

### Catalyst Land Uses

The Lincolnwood Town Center property poses a significant redevelopment opportunity for the Village of Lincolnwood. Future redevelopments should accommodate a variety of land uses to create a destination for residents, visitors, workers, and employers to foster an attractive live-work environment. The Village desires the following types of “catalyst” land uses for the Lincolnwood Town Center area. The following land uses will catalyze, or generate activity by attracting businesses, residents, visitors, and customers in proximity:

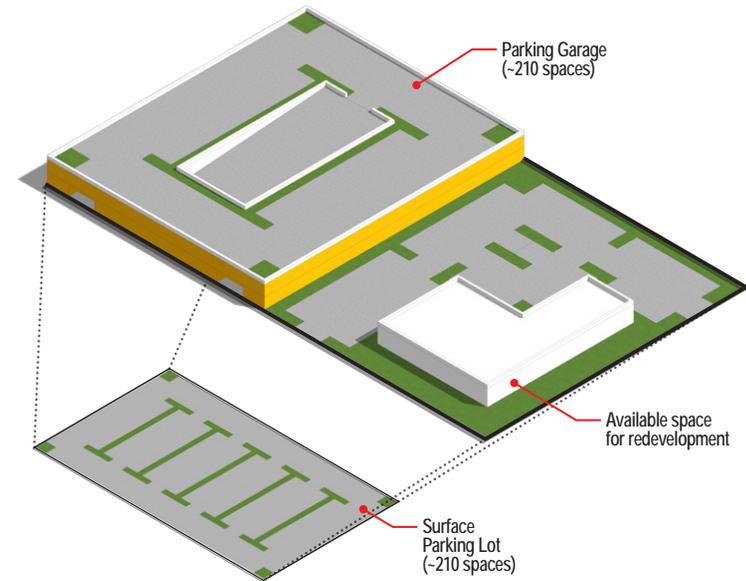
- Corporate Campus
- Life Science Center
- Entertainment (ex: theater, sports complex, indoor recreation center)
- High-intensity Mixed-Use Core

It is imperative that future redevelopment, regardless of its land use designation, generates a net revenue increase for the Village of Lincolnwood.

### Supporting Land Uses

Supporting land uses complement and support the catalyst land uses by creating a functioning and attractive live-work environment. They create new housing options that expand the Town Center’s customer base range, and accommodate smaller-scale businesses that provide a greater variety of product, services, entertainment, and employment opportunities to residents. Parks, open space, and gathering spaces are crucial in creating opportunities for human interactivity within the public realm for people to socialize, while also creating focal points within the Town Center area. The following are supporting land uses that will best support the proposed catalyst land uses:

- Multi-family residential
- Mixed-use development with a combination of commercial, office, and upper-story apartments
- Commercial (ex: restaurants, retail, microbreweries)
- Office (ex: offices, medical offices, wellness centers)
- Auto sales/inventory
- Parks, open space, and gathering spaces



## Less Active Land Uses

Allowing for the flexibility of land uses in the Lincolnwood Town Center area enables the area to better respond to the changing local and regional market demands. Although the Village's priority is to attract catalyst and supporting land uses, the Village is open to 'less active' land uses where appropriate. These types of land uses tend to generate less pedestrian activity but still create jobs and economic activity. Less active uses require less visibility from roadways than catalyst and supporting land uses do and should be located further away from Touhy Avenue and McCormick Boulevard. Redevelopment efforts involving these types of land uses should leverage the Lincolnwood Town Center area's grade change to visually screen the following types of land uses:

- Light Industrial
- Logistics
- Maker's Space

## Structured Parking

Redevelopment of the Lincolnwood Town Center area will generate more traffic, requiring the most efficient use of available land to accommodate parking needs. While parking is a necessary development component, the Village should encourage the redistribution of existing/proposed surface parking lots into strategically-placed structured parking decks. This strategy will ensure that future developments have sufficient parking capacities while reserving available land for other uses that can contribute to an attractive live-work environment in the Lincolnwood Town Center area.

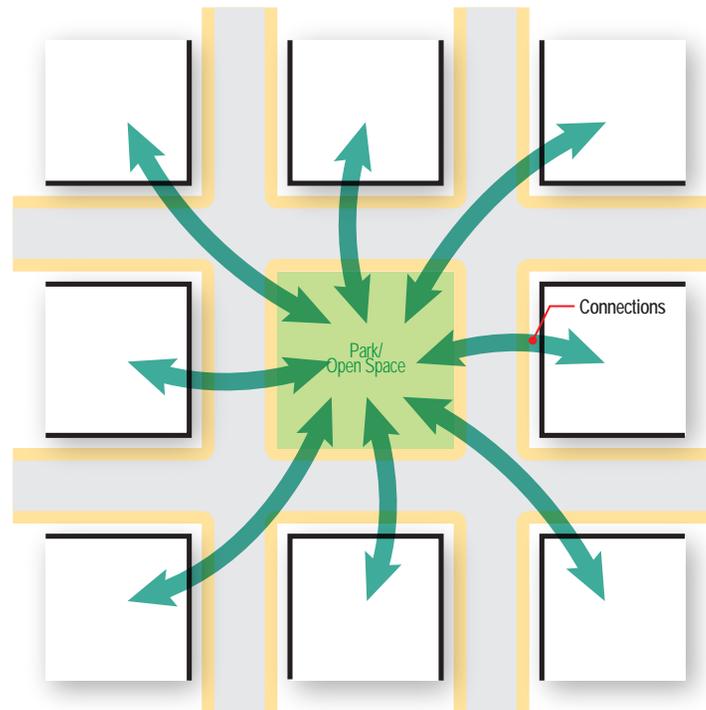


(above) Source: Flickr/Sussane Nilsson



## Public and Private Amenities

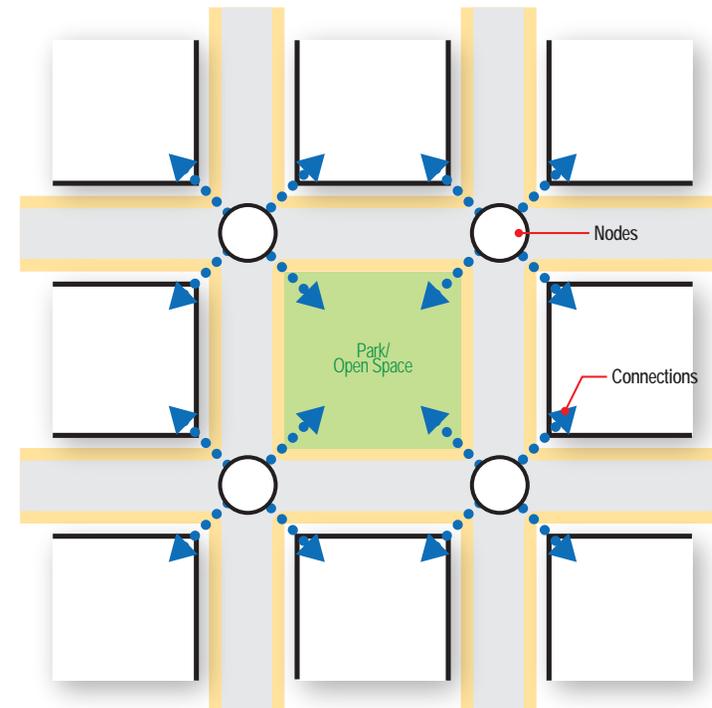
The presence of accessible amenities, such as parks and gathering spaces, plays a significant role by increasing pedestrian activity and the overall health and well-being of a community. Amenities should exist in both the public and private realm. In the public realm, future redevelopments should include centrally located amenities that are easily accessible by nearby developments. Amenities within the public realm may include, but should not be limited to parks/open space, gathering spaces, community centers, and recreation centers. In the private realm, the Village should work with developers to incorporate building amenities within proposed developments. These amenities may include, but should not be limited to gyms, daycare centers, swimming pools, and patios. The combination of amenities should create opportunities for residents, workers, and visitors to engage in active and passive recreation in the Lincolnwood Town Center area.





## Walkable Blocks

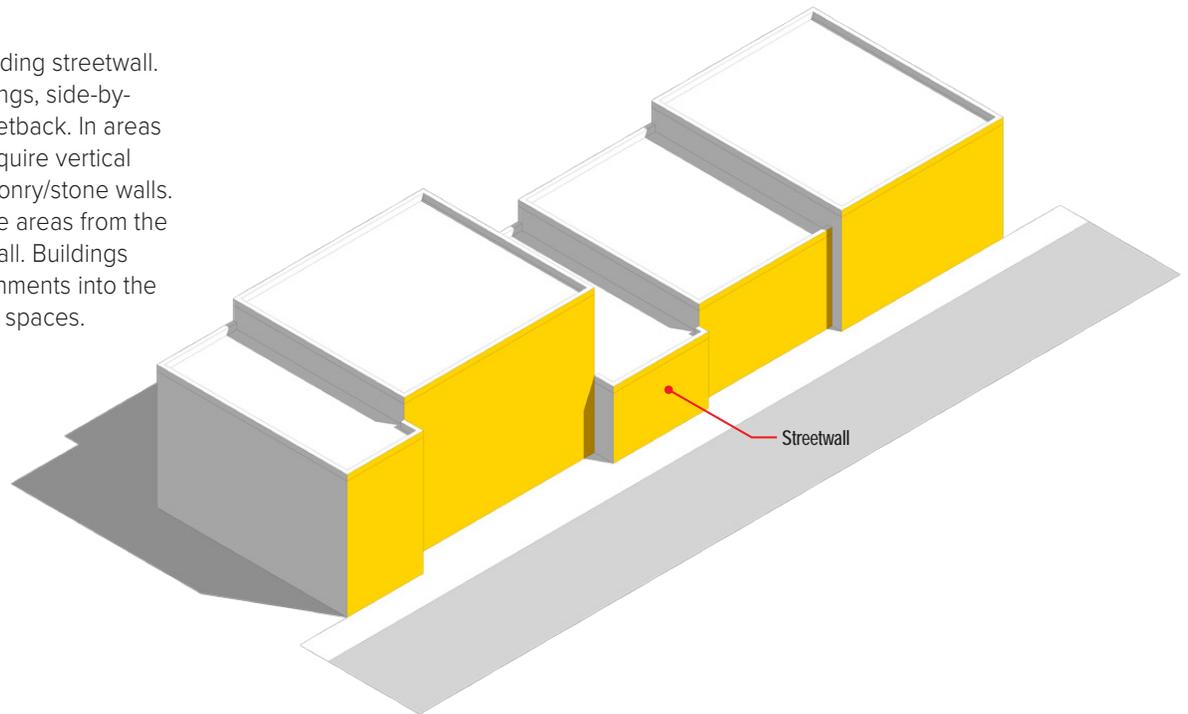
The Town Center area currently features large blocks that prioritize vehicular traffic over pedestrian and cyclist access. To create an attractive live-work environment, the development area should integrate smaller-sized, walkable blocks. The creation of a new road network in the Lincolnwood Town Center area is an opportunity to break the large site into a grid network, which will create opportunities for bicycle, trail, and transit connections. Additionally, it is pertinent to design street blocks that cater to the perception of the pedestrian. Incorporating streetscaping features, such as tree canopies, public art, parklets, street lighting, benches, signage, and landscaped buffers from roadways, into the roadways contribute to a more pedestrian- and bicycle-friendly environment.





## Solid Streetwall

A key design consideration is the establishment of a consistent building streetwall. The term “streetwall” is used to describe a continuous row of buildings, side-by-side, that are located at or near the sidewalk, with little or no side setback. In areas where gaps in the streetwall are unavoidable, the Village should require vertical design elements such as landscaping, decorative fencing, and masonry/stone walls. These vertical design elements separate parking lots or open space areas from the sidewalk in an attractive manner and maintain the intended streetwall. Buildings may accommodate partial setbacks or indents to minimize encroachments into the sidewalk and to accommodate outdoor dining and public gathering spaces.





## Building Design

The design of a building's façade impacts the overall visual appeal of the surrounding area including pedestrian activity and street life. Buildings should have variations in their massing, scale, and façade articulation to provide visual interest from the public right-of-way. Other features, such as recessed building entrances, window openings, balconies, window bays, upper story setbacks, and roofline treatments are pertinent to add diversity and visual interest. It is important that future developments in the Lincolnwood Town Center area are designed with visually attractive façades on all sides of a building (360-degree design). Upper stories in multi-floor developments can be set back from the lower stories along the front setback line to provide height transition and maximize sunlight and air circulation along the public right-of-way.



## Trail Connections

The Lincolnwood Town Center area is in proximity to two prominent trails, the Union Pacific Trail to the west and the North Shore Channel Trail to the east, which provide recreation and active-transportation opportunities for bicycling and walking. New developments should explore opportunities to link the two trails to the Lincolnwood Town Center area. Doing so would strengthen the Village's active transportation network. The smaller-sized blocks, grid network, and streetscape elements defined previously would further enhance the experience for cyclists and pedestrians once they reach the Lincolnwood Town Center area.





### Third Places

Third places provide opportunities for social interaction outside of the home (first place) and workplace (second place) and anchor civic life. Third places should be a key component in the Lincolnwood Town Center area. Examples of appropriate third places include: restaurants and coffee shops, farmers markets, community centers, recreation centers, public parks, and plazas. Third places are important in building a strong sense of place, overall mental well-being, quality of life and a vibrant pedestrian environment, because they provide destinations for people to meet and socialize. Amenities, such as outdoor patios, seating areas, and plazas can also serve these functions and benefit the business community.



### Streetscaping

Streetscaping includes improvements to the design of public rights-of-way to enhance the experience for visitors as they walk and drive throughout the site. Streetscaping should reinforce Lincolnwood Town Center area's identity and include features such as landscaping, decorative paving and sidewalks, lighting, site furnishing, and public art. Investment in the design, construction, maintenance, and programming of public spaces can promote social interaction and a vibrant business environment. Streetscaping can also promote a safer and more accessible environment for all modes of transportation.





## Gateways

Gateways help demarcate the edges of a district and establishing the character and brand for the area. Gateway signage should be installed at key access points between the Lincolnwood Town Center area and nearby major roadways, including Touhy Avenue and McCormick Boulevard. Gateways could integrate architectural style that is consistent with prominent buildings in the redevelopment area to reinforce the identity and character of the area.



## Screening & Landscaping

Parking lots, loading bays, dumpsters, and utilities are essential site components, however, these features can detract from the Town Center area's visual appeal if they are not properly screened. The Village should ensure off-street parking lots and other development components are located at the rear of buildings. Certain types of utilities, such as HVAC systems, can be placed on top of the buildings and should be screened by parapet walls that are continuous, permanent, and sound attenuating. Decorative landscaping and screening are effective strategies to maintain a visually appealing public right-of-way. The Village should ensure its landscaping and screening standards are adequate for this area.



## DEVELOPMENT FEASIBILITY & MUNICIPAL FINANCE

### Phase/Incremental Approach

The Lincolnwood Town Center area encompasses a large area of land, and redevelopment efforts are likely to occur incrementally. Though wholesale redevelopment of the area is possible, the area is likely to be divided up into smaller, individual projects. It is important to establish a new circulation pattern to promote multi-modal travel. Incremental development should aim to balance the needs of existing businesses with opportunities to establish a new local street grid, enhance connections to surrounding properties and future redevelopment sites, and maximize the potential of future investment.

Redevelopment in the Lincolnwood Warehouse, the 2-acre vacant site, and Zeigler's Inventory Lots would most likely accommodate the Less Active Land Uses. This is because these areas have less visibility than the Town Center property has and would better conform to the existing light industrial land uses to the south and west. Redevelopment in these areas may occur at their own pace, independent of how redevelopment would occur within the Town Center property. The existing outlets adjacent to Touhy Avenue and McCormick Boulevard may facilitate redevelopment in the future, and the resulting redevelopment should complement those within the Town Center area.





## Sound Municipal Fiscal Decision-Making

The existing Town Center area is an important source of municipal revenue that allows the Village to provide quality services to residents and businesses throughout the community. While some proposed supporting or less active land uses may provide a little or no net increase over the existing revenue, provided by the existing mall, the overall redevelopment program for the property and its surrounding area should result in an increase in municipal revenue. Development projects should be assessed based on their ability to sustain this important balance, ensuring that the Village can continue to provide the quality of services necessary to support the redevelopment area and the Village as a whole.

## Diversified Sources of Municipal Revenues

In addition to a net increase in tax revenue for the Village, it is equally important that the Lincolnwood Town Center area's redevelopment diversifies the Village's tax revenue sources. This will enhance the Village's capacity to adapt to the changing local, state, and national market conditions in the future. Accommodating a variety of land uses to create an attractive live-work environment in the Lincolnwood Town Center area will be a key component in diversifying the Village's revenue sources.

## Minimize Carbon Footprint

The redevelopment of the Lincolnwood Town Center area presents a significant opportunity to incorporate best practices in conservation, green infrastructure, shared infrastructure, and sustainable building design to minimize the site's carbon footprint. Green infrastructure features, such as rain gardens, green roofs, and retention basins, should be incorporated on-site as reinvestment occurs. Shared infrastructure may include shared/central chilled water plants that serve multiple developments, or centralized stormwater management systems that allow for concentrated development. Sustainable building design may include passive heating and cooling systems, integrated alternative energy systems, and the use of locally sourced building materials. These approaches often resonate with large businesses and employers that are often adopting Environmental, Social, and Governance (ESG) into their operating strategies and corporate values. ESG refers to an increasingly popular set of values that companies are adopting to be more environmentally- and socially-conscious while improving its transparency to its shareholders.



## Minimize Stormwater Runoff

Future redevelopment of the Lincolnwood Town Center area should minimize its contribution to stormwater runoff, which may put strain on the municipal infrastructure. Incorporating green infrastructure elements, preserving open space, and clustering developments together can be effective strategies to mitigate stormwater runoff. In off- and on-street parking areas, incorporating permeable pavers, porous asphalt, parking islands with curb cuts, retention basins and bioswales should be considered. These strategies allow a portion of the stormwater runoff to be absorbed into the ground before entering the municipal sewer lines. Additionally, all future development should be compliant with Article 6, Stormwater Management, in the Village's Municipal code and the Village of Lincolnwood's Stormwater Best Management Practices Program Manual.

## Efficient Local Infrastructure

In addition to minimizing future developments' carbon footprint, future developments should minimize their potential impact on municipal infrastructure, such as roads, water, sewer, and electrical lines. Minimizing impacts on existing systems will extend the Village's infrastructure capabilities and offset maintenance and capital improvement costs. Incorporating shared infrastructure can be an effective strategy to consolidate multiple developments' infrastructure components rather than each development having its own. Additionally, promoting higher-density developments can enable the municipal infrastructure to serve greater number of people and activities in the redevelopment area.



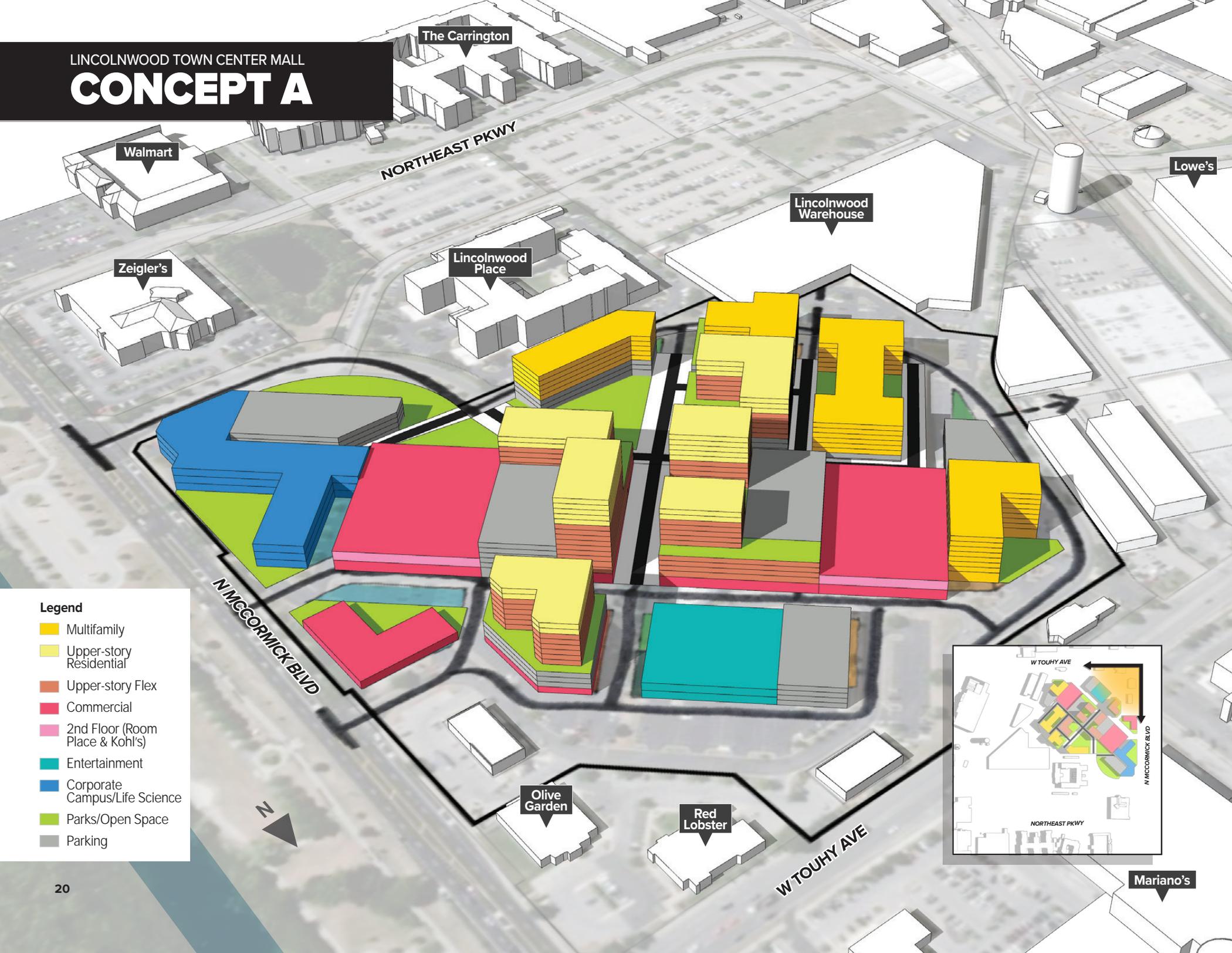


## CHAPTER 3

# DEVELOPMENT CONCEPTS

The following development concepts exhibit a few of the infinite possibilities on how redevelopment could occur in the Lincolnwood Town Center area. These concepts illustrate the Town Center area's development potential which is inspired and facilitated by the Plan's development principles. They are not meant to be prescriptive. The Plan recognizes that the resulting redevelopments could be different from what is shown in the Plan, and that the Village would be willing to consider them if they adhere to the Plan's development principles while being connected with adjacent areas.

LINCOLNWOOD TOWN CENTER MALL  
**CONCEPT A**



The Carrington

Walmart

NORTHEAST PKWY

Lincolnwood Warehouse

Lowe's

Zeigler's

Lincolnwood Place

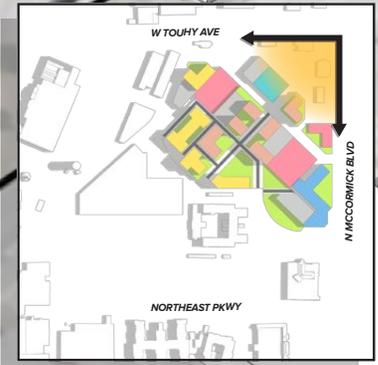
N MCCORMICK BLVD

Olive Garden

Red Lobster

W TOUHY AVE

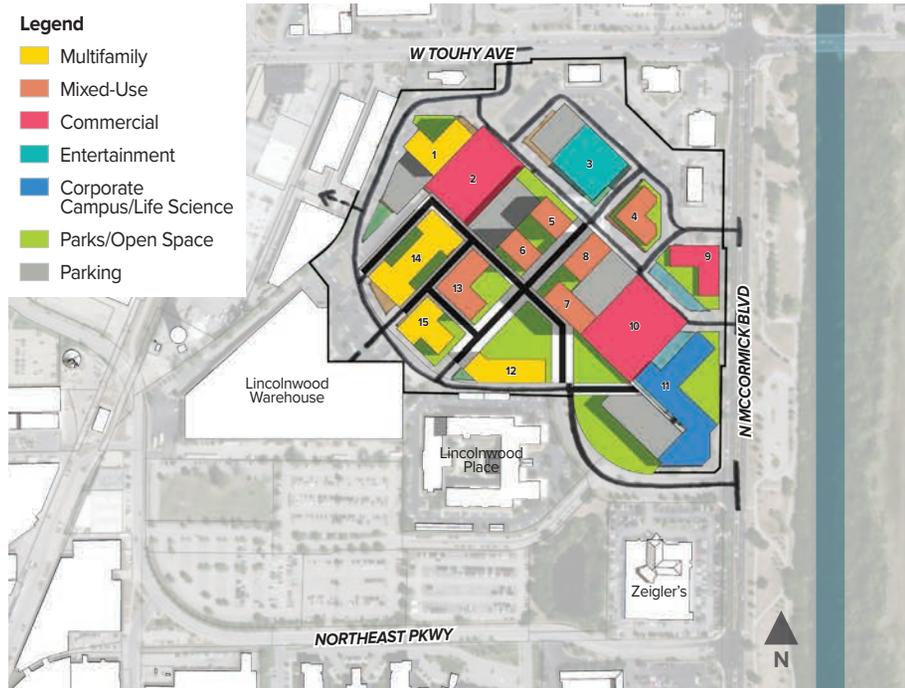
Mariano's



- Legend**
- Multifamily
  - Upper-story Residential
  - Upper-story Flex
  - Commercial
  - 2nd Floor (Room Place & Kohl's)
  - Entertainment
  - Corporate Campus/Life Science
  - Parks/Open Space
  - Parking

CONCEPT A

# DEVELOPMENT PROGRAM



### Residential Land Uses

Bldg#	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)	# of Units
1	Multi-Family	20,247	8	161,976	86
4	Mixed-Use Residential/Flex	14,661	8	117,288	63
5	Mixed-Use Residential/Flex	9,920	7	69,440	37
6	Mixed-Use Residential/Flex	9,920	10	99,200	53
7	Mixed-Use Residential/Flex	13,920	6	83,520	45
8	Mixed-Use Residential/Flex	12,600	10	126,000	67
12	Multi-Family	20,886	5	104,430	56
13	Mixed-Use Residential/Flex	20,800	8	166,400	89
14	Multi-Family	35,643	6	213,858	114
15	Multi-Family	18,400	5	92,000	49
<b>Totals</b>		<b>176,997</b>		<b>1,234,112</b>	<b>659</b>

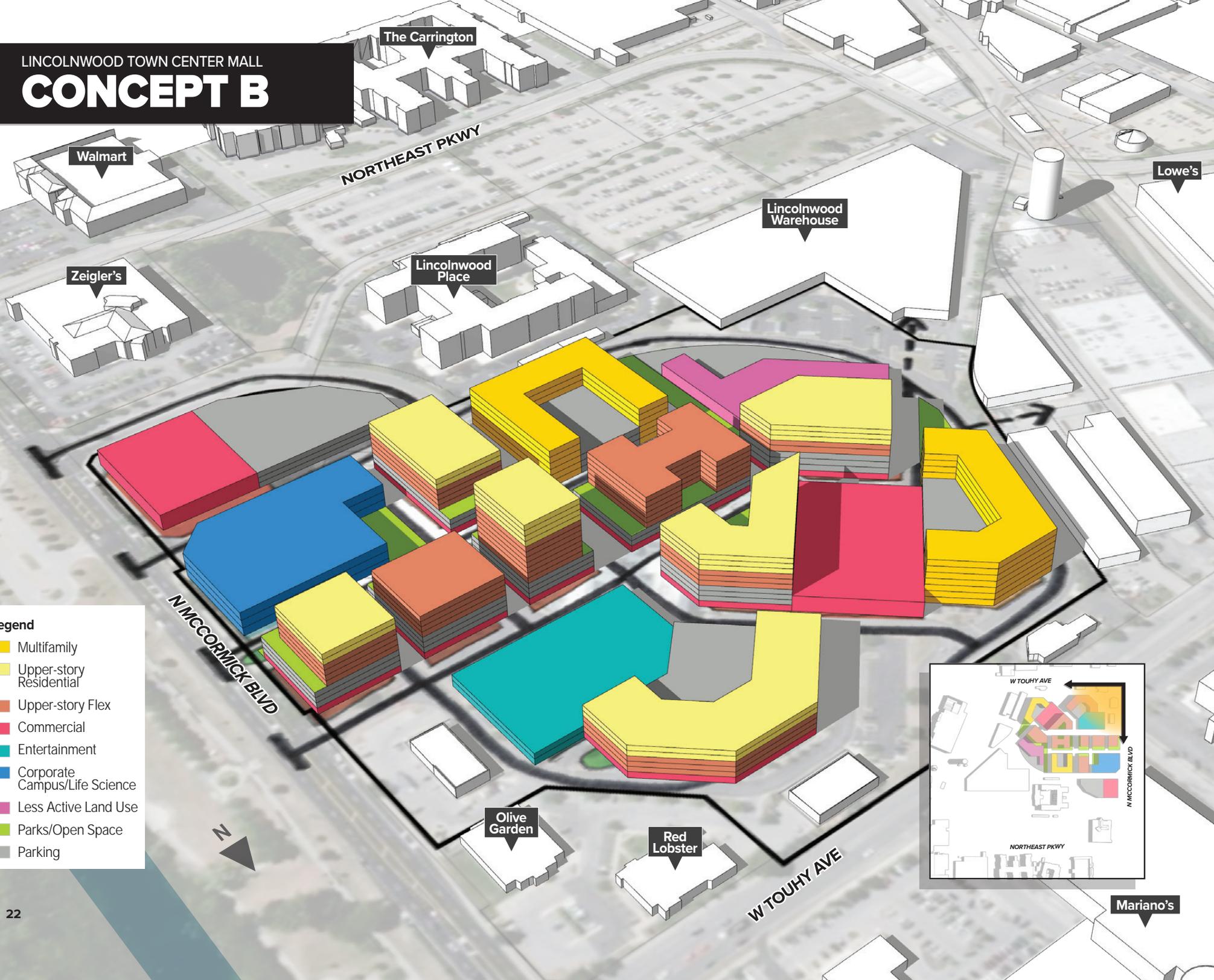
### Non-Residential Land Uses

Bldg	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)
2	Commercial (Kohl's)	54,015	2	108,030
3	Entertainment	32,980	2	65,960
4	Commercial	24,660	1	24,660
5+6	Commercial	40,348	4	161,392
7+8	Commercial	32,868	4	131,472
9	Commercial	18,406	1	18,406
10	Commercial (Room Place)	63,710	2	127,420
11	Corporate Campus/Life Science	52,541	4	210,164
13	Commercial	32,400	1	32,400
<b>Totals</b>		<b>351,928</b>		<b>879,904</b>

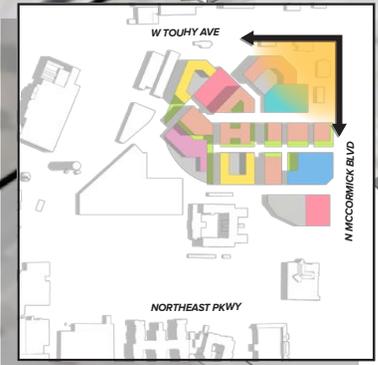
**Approximate Total Parking Area: 863,625 s.f.**

This concept assumes the existing Kohl's and Room Place anchor, in addition to the Town Center's retaining wall, will remain, while redeveloping the rest of the Town Center structure. The central area would primarily consist of mixed-use buildings, consisting of either residential units or flex-uses in the upper stories. Parking would be situated within standalone parking decks or within mixed-use buildings. In the long-term future, if Kohl's and Room Place were to relocate, the anchor buildings can either be adaptively reused or redeveloped.

LINCOLNWOOD TOWN CENTER MALL  
**CONCEPT B**

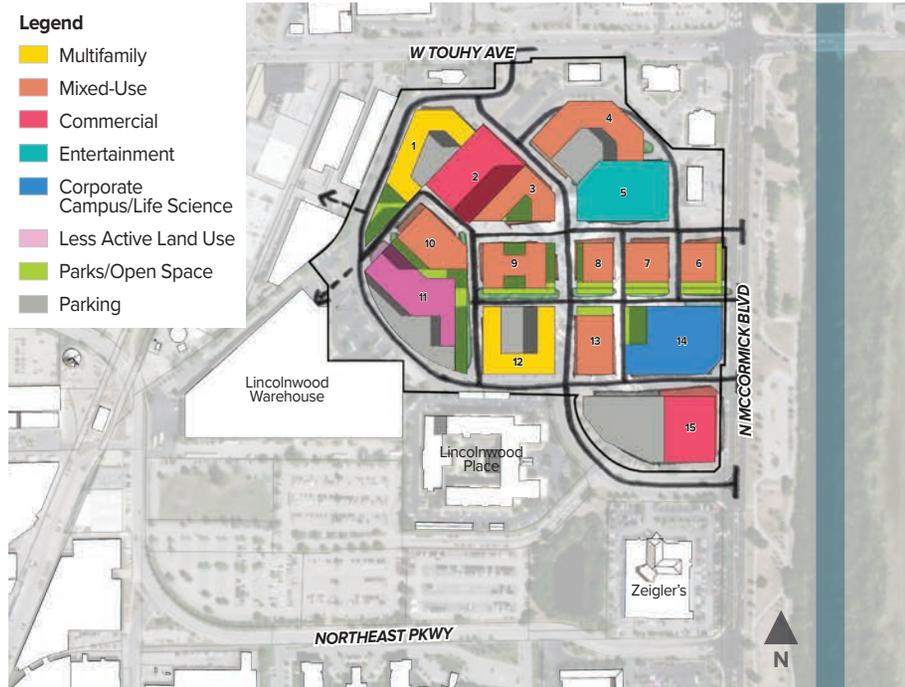


- Legend**
- Multifamily
  - Upper-story Residential
  - Upper-story Flex
  - Commercial
  - Entertainment
  - Corporate Campus/Life Science
  - Less Active Land Use
  - Parks/Open Space
  - Parking



CONCEPT B

# DEVELOPMENT PROGRAM



Concept B only preserves the Kohl's anchor. Doing so provides an opportunity to create smaller-sized and more walkable blocks that consist of human-scale mixed-use buildings. A large-scale commercial use can be situated between Zeigler's and the corporate campus/life science center. The less active land use is situated by the Lincolnwood Warehouse since it doesn't require much visibility from Touhy Avenue and McCormick Boulevard.

## Residential Land Uses

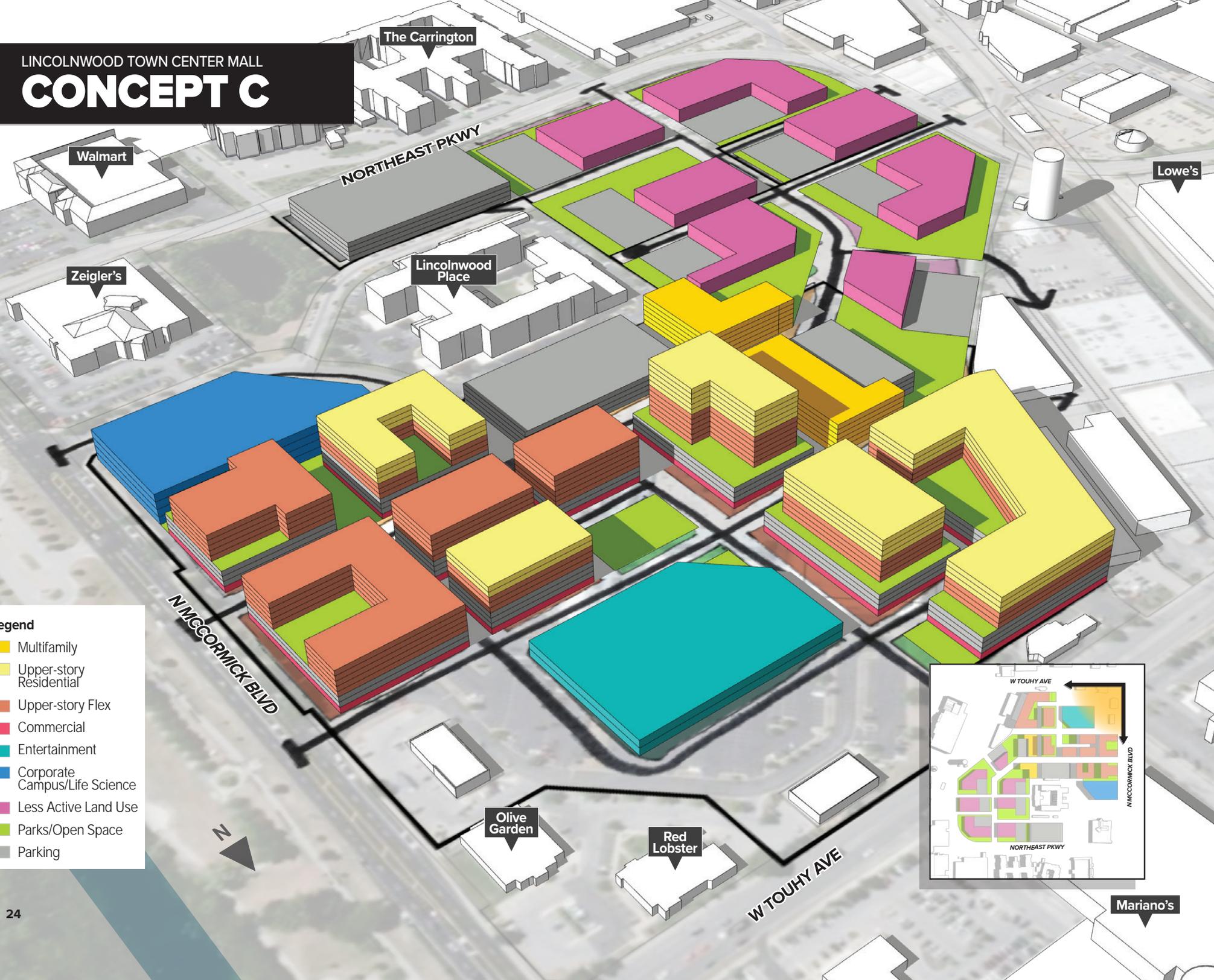
Bldg#	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)	# of Units
1	Multi-Family	32,677	7	228,739	122
3	Mixed-Use Residential/Flex	25,389	6	152,334	81
4	Mixed-Use Residential/Flex	41,440	5	207,200	111
6	Mixed-Use Residential/Flex	15,210	6	91,260	49
7	Mixed-Use Residential/Flex	18,850	4	75,400	40
8	Mixed-Use Residential/Flex	13,000	11	143,000	76
9	Mixed-Use Residential/Flex	25,900	6	155,400	83
10	Mixed-Use Residential/Flex	28,866	5	144,330	77
12	Multi-Family	35,400	6	212,400	113
13	Mixed-Use Residential/Flex	23,400	6	140,400	75
<b>Totals</b>		<b>260,132</b>		<b>1,550,463</b>	<b>827</b>

## Non-Residential Land Uses

Bldg	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)
2	Commercial	274,542	1	274,542
3	Commercial	30,520	1	30,520
4	Commercial	41,440	1	41,440
5	Entertainment	58,076	2	116,152
6	Commercial	20,550	1	20,550
7	Commercial	21,750	1	21,750
8	Commercial	18,000	1	18,000
9	Commercial	36,000	1	36,000
10	Commercial	28,866	1	28,866
11	Light Industrial/Logistics	44,061	1	44,061
13	Commercial	27,000	1	27,000
14	Corporate Campus/Life Science	247,825	3	743,475
15	Commercial	37,400	1	37,400
<b>Totals</b>		<b>886,030</b>		<b>1,439,756</b>

**Approximate Total Parking Area: 797,370 s.f.**

# LINCOLNWOOD TOWN CENTER MALL CONCEPT C



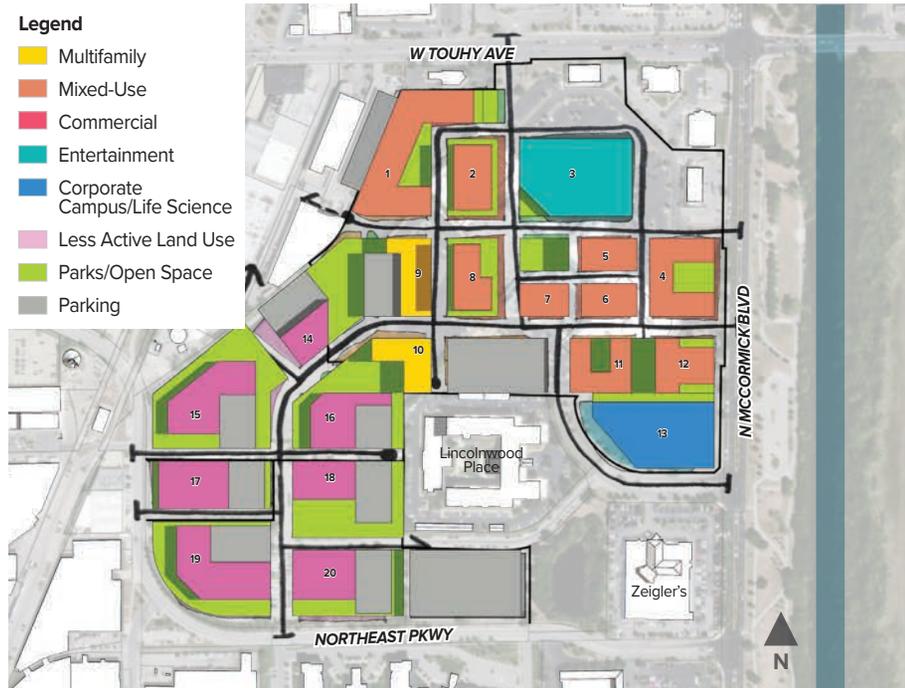
## Legend

- Multifamily
- Upper-story Residential
- Upper-story Flex
- Commercial
- Entertainment
- Corporate Campus/Life Science
- Less Active Land Use
- Parks/Open Space
- Parking



CONCEPT C

# DEVELOPMENT PROGRAM



This concept assumes the full redevelopment of the Lincolnwood Town Center. This allows the full creation of a grid-like network of smaller-sized blocks that would contribute to a multi-modal and pedestrian oriented environment. Most parking would be fully incorporated within the mixed-use buildings. The upper-story residential and flex uses within mixed-use buildings would be set back, creating room for amenity decks while also easing the buildings massing to provide for a human-scale environment. The less active land uses within the Lincolnwood Warehouse, the two-acre vacant site, and Zeigler’s inventory lots are applicable to all three concepts because they may also occur independently, regarding how redevelopment would play out within the Lincolnwood Town Center area.

## Residential Land Uses

Bldg#	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)	# of Units
1	Mixed-Use Residential/Flex	78,808	6	472,848	252
2	Mixed-Use Residential/Flex	27,904	8	223,232	119
4	Mixed-Use Residential/Flex	42,560	5	212,800	113
5	Mixed-Use Residential/Flex	20,460	5	102,300	55
6	Mixed-Use Residential/Flex	20,460	5	102,300	55
7	Mixed-Use Residential/Flex	18,150	5	90,750	48
8	Mixed-Use Residential/Flex	23,980	11	263,780	141
9	Multi-Family	29,399	6	176,394	94
10	Multi-Family	24,679	6	148,074	79
11	Mixed-Use Residential/Flex	29,680	6	178,080	95
12	Mixed-Use Residential/Flex	28,320	5	141,600	76
<b>Totals</b>		<b>344,400</b>		<b>2,112,158</b>	<b>1,127</b>

## Non-Residential Land Uses

Bldg	Use	Bldg Footprint (s.f.)	Floor(s)	Gross Building Area (s.f.)
1	Commercial	78,808	1	78,808
2	Commercial	27,904	1	27,904
3	Entertainment	91,750	2	183,500
4	Commercial	56,160	1	56,160
5	Commercial	20,460	1	20,460
6	Commercial	20,460	1	20,460
7	Commercial	18,150	1	18,150
8	Commercial	23,980	1	23,980
11	Commercial	36,720	1	36,720
12	Commercial	35,280	1	35,280
13	Corporate Campus/Life Science	76,775	4	307,100
14-20	Light Industrial/Logistics	242,733	1	242,733
<b>Totals</b>		<b>729,180</b>		<b>1,051,255</b>

**Approximate Total Parking Area: 1,652,192 s.f.**