



1830316016

Doc# 1830316016 Fee \$114.00

KAREN A. YARBROUGH

COOK COUNTY RECORDER OF DEEDS

DATE: 10/30/2018 11:54 AM PG: 1 OF 39

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF LINCOLNWOOD

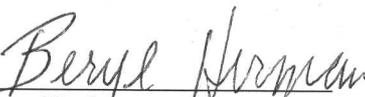
ORDINANCE NO. 2018-3362

**AN ORDINANCE APPROVING AN AMENDMENT TO
THE PRATT/MCCORMICK PLANNED UNIT DEVELOPMENT**

(6850 North McCormick Boulevard)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS 16th DAY OF OCTOBER, 2018.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
16th day of October, 2018


Village Clerk

THIS SPACE FOR RECORDERS USE ONLY

VILLAGE OF LINCOLNWOOD

ORDINANCE NO. 2018-3362

**AN ORDINANCE APPROVING AN AMENDMENT TO
THE PRATT/MCCORMICK PLANNED UNIT DEVELOPMENT**

(6850 North McCormick Boulevard)

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE VILLAGE OF LINCOLNWOOD
THIS 16th DAY OF OCTOBER, 2018.

Published in pamphlet form
by the authority of the
President and Board of Trustees
of the Village of Lincolnwood,
Cook County, Illinois this
16th day of October, 2018


Village Clerk

**AN ORDINANCE APPROVING AN AMENDMENT TO
THE PRATT/MCCORMICK PLANNED UNIT DEVELOPMENT**

(6850 North McCormick Boulevard)

WHEREAS, Lincolnwood Holdings, LLC ("**Owner**") is the record title owner of that certain parcel of real property consisting of approximately 6.59 acres, located at the address commonly known as 6850 North McCormick Boulevard, Lincolnwood, Illinois, and legally described in **Exhibit A** attached to and, by this reference, made a part of this Ordinance ("**Property**"); and

WHEREAS, the Village President and Board of Trustees adopted: (i) Ordinance No. Z99-044 on June 17, 1999, approving a special use permit for a planned unit development of the Property and an adjacent property and a preliminary plat of planned unit development; and (ii) Ordinance No. Z2000-064 on March 16, 2000, approving a final plat of planned unit development for the Property and the adjacent property (collectively, the "**PUD Ordinances**"); and

WHEREAS, the PUD Ordinances authorized the development of the Property as a planned unit development for use as a grocery store; and

WHEREAS, the Village President and Board of Trustees subsequently amended the PUD Ordinances by adopting Ordinance Nos. Z99-051, 2000-018, Z2003-179, Z2003-228, Z2004-236, 2008-2824, and 2015-3173 (collectively, the PUD Ordinances and their amendments are the "**Pratt/McCormick Planned Unit Development**"); and

WHEREAS, pursuant to the Pratt/McCormick Planned Unit Development, the Property was developed and is improved with: (i) one 62,000-square-foot building designed for use by three tenants for various possible retail or commercial uses ("**Large Building**"); (ii) a 6,000-square-foot building designed for use by two tenants for various possible retail or commercial uses ("**Small Building**"); and (iii) surface parking lot located adjacent to, and to the east of, the Large Building; and

WHEREAS, Walmart, Inc. ("**Applicant**") has entered into an agreement with the Owner to lease an approximately 41,700-square-foot portion of the Large Building for the operation of a grocery store ("**Proposed Development**"); and

WHEREAS, pursuant to Section 4.07(15) of "The Village of Lincolnwood Zoning Ordinance" as amended ("**Zoning Ordinance**"), businesses located on the Property and within 150 feet of another property zoned or used for residential purposes may not be operated before 7:00 a.m. or after 11:00 p.m. on any day, except upon issuance of a special use permit therefor; and

WHEREAS, pursuant to Section 3.08(4)b of the Zoning Ordinance, detached accessory buildings may not be located within the front yard of a property; and

WHEREAS, Section Two of Ordinance No. 2004-236 prohibits operation of a grocery store on the Property before 6:00 a.m. or after 11:00 p.m., and prohibits deliveries to a grocery store on the Property before 7:00 a.m. or after 10:00 p.m.; and

WHEREAS, all signs installed on the Property must comply with the various plans attached to the ordinances that comprise the Pratt/McCormick Planned Unit Development, including, without limitation, the “2008 Sign Plans” attached to Ordinance No. 2008-2824 and that certain plan attached as Exhibit G to Ordinance No. 2015-3173; and

WHEREAS, Section 11.04(2)i of the Zoning Ordinance, and Section 3.F.3 of Ordinance No. 2015-3173, limit the quantity of wall signs installed on the east elevations of the Large Building and the Small Building to the number of tenants then occupying each respective Building; and

WHEREAS, Section 11.04(2)iii of the Zoning Ordinance limits the size of each wall sign to the greater of one-third of the signable wall area (up to 100 square feet) or 10 square feet; and

WHEREAS, the off-street vehicular circulation and parking areas on the Property, and the lighting structures and improvements, must comply with the various plans attached to Ordinance No. 2015-3173; and

WHEREAS, Section 4.3.c of Ordinance No. Z2000-064 requires all structures on the Property to be constructed of masonry, and to be compatible and unified in architecture and appearance; and

WHEREAS, in order to permit the construction and operation of the Proposed Development, and pursuant to Article VIII, Part A of the “The Village of Lincolnwood Zoning Ordinance,” as amended (“*Zoning Ordinance*”), the Applicant, with the consent of the Owner, filed an application with the Village for approval of: (i) amendments to the Pratt/McCormick Planned Unit Development; (ii) additional zoning modifications within the Pratt/McCormick Planned Unit Development; and (iii) a special use permit to allow the operation of, and deliveries to, the grocery store before 6:00 a.m. and after 11:00 p.m. (“*Requested Relief*”); and

WHEREAS, a public hearing of the Plan Commission of the Village of Lincolnwood to consider approval of the Requested Relief was duly advertised in the *Lincolnwood Review* on August 23, 2018, and was held on September 12, 2018; and

WHEREAS, on September 12, 2018, the Plan Commission made findings and recommendations in support of the Requested Relief, subject to specified conditions; and

WHEREAS, the Village President and Board of Trustees have determined that the Proposed Development complies with the required standards for special use permits and planned unit developments set forth in Articles V and VIII of the Zoning Ordinance; and

WHEREAS, consistent with the Plan Commission recommendation, the President and Board of Trustees have determined that it will serve and be in the best interests of the Village and its residents to approve the Requested Relief, in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance;

NOW, THEREFORE, BE IT ORDAINED BY THE VILLAGE PRESIDENT AND BOARD OF TRUSTEES OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION 1. RECITALS. The facts and statements contained in the preamble to this Ordinance are found to be true and correct and are hereby adopted as part of this Ordinance.

SECTION 2. APPROVAL OF AMENDMENTS TO PRATT/MCCORMICK PLANNED UNIT DEVELOPMENT. Subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 5 of this Ordinance, the Village President and Board of Trustees hereby approve amendments to the Pratt/McCormick Planned Unit Development, as follows:

- A. Proposed Development. The Pratt/McCormick Planned Unit Development is hereby amended to permit the development of the Proposed Development on the Property, in accordance with, and pursuant to, Articles V and VIII of the Zoning Ordinance and the home rule powers of the Village;
- B. Hours of Operation. The Pratt/McCormick Planned Unit Development is hereby amended to permit the operation of, and deliveries to, a grocery store on the Property between the hours of 5:00 a.m. and 12:00 a.m.; and
- C. Signage. The Pratt/McCormick Planned Unit Development is hereby amended to permit the installation and maintenance of signs in accordance with the Final Development Plan (as that term is defined in Section 5.B of this Ordinance). Specifically, and without limitation of the foregoing:
 - 1. The Applicant may install a 450-square-foot wall sign on the Large Building;
 - 2. The Applicant may install a secondary 41.86-square-foot wall sign on the Property;
 - 3. The Applicant may install on-site directional signs guiding customers of the grocery store to specific parking bays, and requiring vehicles to turn northbound at the end of the one-way parking aisle that provides egress from the bays;
 - 4. Notwithstanding Section 3.F.3 of Ordinance No. 2015-3173, the Applicant may install more wall signs installed on the east elevation of the Large Building than the number of tenants then occupying the Large Building; and
 - 5. Notwithstanding Exhibit G to Ordinance No. 2015-3173, the Applicant may modify the signable area of the primary new proposed sign for the Property.
- D. Vehicular Circulation and Parking Areas. The Pratt/McCormick Planned Unit Development is hereby amended to permit the modification of the vehicular circulation and parking areas on the Property. Specifically, and without limitation of the foregoing, notwithstanding the various plans attached to Ordinance No. 2015-3173, the Applicant may reduce the total on-site, off-street vehicular

parking capacity by 30 parking spaces, and may modify the parking lot to require one-way eastbound circulation in the drive aisle providing egress from the customer loading bays in that portion of the parking lot located east of the primary structure.

- E. Construction Materials. The Pratt/McCormick Planned Unit Development is hereby amended to permit the construction of a proposed detached accessory structure on the Property that is not constructed of masonry materials, and that is not compatible and unified in architecture and appearance with the other buildings on the Property.
- F. Lighting Improvements. The Pratt/McCormick Planned Unit Development is hereby amended to permit the modification of the lighting structures and improvements on the Property.

SECTION 3. APPROVAL OF ZONING MODIFICATIONS WITHIN A PLANNED DEVELOPMENT. In accordance with and pursuant to Section 8.03(3) of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 5 of the Ordinance, the President and Board of Trustees hereby approve the following modifications from the provisions of the Zoning Ordinance:

A. Accessory Structure. A modification from Section 3.08(4)b of the Zoning Ordinance to permit the construction of a detached accessory structure within the required front yard of the Property.

B. Quantity of Wall Signs. A modification from Section 11.04(2)i of the Zoning Ordinance to permit the installation of more wall signs on the east elevation of the Large Building than the number of tenants then occupying the Large Building.

C. Area of Wall Signs. Modifications from Section 11.04(2)iii of the Zoning Ordinance to permit the installation of wall signs that exceed 100 square feet in size, and that exceed one-third of the signable wall area of the walls on which they will be installed.

SECTION 4. APPROVAL OF SPECIAL USE PERMIT – HOURS OF OPERATION. In accordance with, and pursuant to, Article V and Section 4.07(15) of the Zoning Ordinance and the home rule powers of the Village, and subject to, and contingent upon, the conditions, restrictions, and provisions set forth in Section 5 of the Ordinance, the President and Board of Trustees hereby grant a special use permit to the Applicant to allow the operation of, and deliveries to, a grocery store on the Property between the hours of 5:00 a.m. and 12:00 a.m.

SECTION 5. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Zoning Ordinance, or any other rights the Applicant may have, the approvals granted in Sections 2, 3 and 4 of this Ordinance are hereby expressly subject to and contingent upon the development, use, and maintenance of the Proposed Development and the Property in compliance with each and all of the following conditions:

A. Standard Conditions.

1. Compliance with Regulations. The development, use, operation, and maintenance of the Proposed Development and the Property must comply with all applicable Village codes and ordinances, as the same have been or may be amended from time to time, except to the extent specifically provided otherwise in this Ordinance or the Development Agreement.
2. Compliance with Final Development Plan. Except for minor changes and site work approved by the Village Zoning Officer or the Village Engineer (for matters within their respective permitting authorities) in accordance with all applicable Village standards, the development, use, operation, and maintenance of the Proposed Development and the Property must comply with the following plans and documents (collectively, the "*Final Development Plan*"):
 - a. The Site Plan, prepared by Carlson Consulting Engineers, Inc., consisting of one sheet, with a latest revision date of September 17, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit B**;
 - b. The Site Circulation Signage Plan, prepared by Carlson Consulting Engineers, Inc., consisting of one sheet, with a latest revision date of September 17, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit C**;
 - c. The Paving Plan, prepared by Carlson Consulting Engineers, Inc., consisting of one sheet, with a latest revision date of September 17, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit D**;
 - d. The Planting Plan and Planting Details, prepared by Carlson Consulting Engineers, Inc., consisting of two sheets, with a latest revision date of September 17, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinances as **Exhibit E**;
 - e. The Canopy Photometric Plan, prepared by Carlson Consulting Engineers, Inc., consisting of one sheet, with a latest revision date of August 20, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit F**;
 - f. The Canopy Detail Drawings, prepared by LK Architecture, Inc., consisting of two sheets, with a latest revision date of August 29, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit G**; and

- g. The Signage and Elevations Plan, prepared by LK Architecture, Inc., consisting of two sheets, with a latest revision date of September 17, 2018, a copy of which is attached to and, by this reference, made a part of this Ordinance as **Exhibit H**.
- B. Traffic Control Devices. The Village will have the right to refuse to issue a certificate of occupancy for the Proposed Development prior to the installation by the Applicant, to the satisfaction of the Village Manager, of appropriate traffic control devices that direct vehicular traffic travelling east from the parking canopies through the parking lot on the Property to turn northbound.
- C. Reimbursement of Village Costs. In addition to any other costs, payments, fees, charges, contributions, or dedications required under applicable Village codes, ordinances, resolutions, rules, or regulations, the Applicant must pay to the Village, promptly upon presentation of a written demand or demands therefor, all legal fees, costs, and expenses incurred or accrued in connection with the review, negotiation, preparation, consideration, and review of this Ordinance. Payment of all such fees, costs, and expenses for which demand has been made must be made by a certified or cashier's check. Further, the Applicant must pay upon demand all costs incurred by the Village for publications and recordings required in connection with the aforesaid matters.

SECTION 6. CONTINUED EFFECT; CONFLICTS.

- A. Except as expressly modified by this Ordinance, the Pratt/McCormick Planned Unit Development will remain in full force and effect, and the Applicant must comply with all requirements, conditions, and restrictions in the Pratt/McCormick Planned Unit Development. Any violation of this Ordinance will be deemed a violation of the Pratt/McCormick Planned Unit Development and the Zoning Ordinance.
- B. In the event of a conflict between the provisions of any of the Ordinances comprising the Pratt/McCormick Planned Unit Development and the provisions of this Ordinance, the provisions of this Ordinance will control.

SECTION 7. ACKNOWLEDGMENT OF COMPLIANCE. The President and Board of Trustees acknowledge that the use of the Property for a grocery store complies with, and is consistent with the intent of, the requirement set forth in Section 5.B of Village Resolution No. R2015-1873 that the Property be occupied by tenants primarily engaged in transactions that generate sales taxes.

SECTION 8. RECORDATION; BINDING EFFECT. A copy of this Ordinance must be recorded in the Office of the Cook County Recorder of Deeds. This Ordinance and the privileges, obligations, and provisions contained herein run with the Property and inure to the benefit of, and are binding upon, the Owner, the Applicant, and their respective personal representatives, successors, and assigns.

SECTION 9. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Owner or the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, in addition to all other remedies available to the Village, the approvals granted in Sections 2, 3, and 4 of this Ordinance will, at the sole discretion of the Village President and Board of Trustees, by ordinance duly adopted, be revoked and become null and void; provided, however, that the Village President and Board of Trustees may not so revoke the approval granted in Sections 2, 3, and 4 unless they first provide the Owner and the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Village President and Board of Trustees. In the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 10. AMENDMENTS. Any amendment to any provision of this Ordinance may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Zoning Ordinance.

SECTION 11. SEVERABILITY. If any provision of this Ordinance or part thereof is held invalid by a court of competent jurisdiction, the remaining provisions of this Ordinance will remain in full force and effect, and will be interpreted, applied, and enforced so as to achieve, as near as may be, the purpose and intent of this Ordinance to the greatest extent permitted by applicable law.

SECTION 12. EFFECTIVE DATE.

- A. This Ordinance will be effective only upon the occurrence of all of the following events:
1. Passage by the Village President and Board of Trustees in the manner required by law;
 2. Publication in pamphlet form in the manner required by law;
 3. Recordation of this Ordinance, together with such exhibits as the Village Clerk deems appropriate for recordation, with the office of the Recorder of Cook County; and
 4. The filing by the Owner and the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit I** attached to and, by this reference, made a part of this Ordinance, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Ordinance and to indemnify the Village for any claims that may arise in connection with the approval of this Ordinance.
- B. In the event that the Owner or the Applicant does not deliver fully executed copies of the Unconditional Agreement and Consent within 30 days after the date of final passage of this Ordinance by the Village President and Board of Trustees, as required by Section 12.A.4 of this Ordinance, the Village President and Board

of Trustees will have the right, in their sole discretion, to declare this Ordinance null and void and of no force or effect.

PASSED this 16th day of October, 2018.

AYES: Trustees Patel, Ikezoe-Halevi, Hlepas Nickell, Spino, Sugarman

NAYS: None

ABSENT: Trustee Cope

ABSTENTION: None

APPROVED by me this 16th day of October, 2018.



Barry I. Bass, President
Village of Lincolnwood, Cook County, Illinois

ATTESTED and FILED in my office this
16th day of October, 2018



Beryl Herman, Village Clerk
Village of Lincolnwood, Cook County, Illinois

EXHIBIT A

Legal Description of the Property

A PARCEL OF LAND IN THE NORTHEAST 1/ 4 OF SECTION 35, TOWNSHIP 41 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, BEING PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/ 4 OF SECTION 35, TOWNSHIP 41, RANGE 13 EAST, THENCE NORTHWESTERLY ALONG THE WEST LINE OF THE NORTHEAST 1/ 4 OF SAID SECTION, N 00 DEGREES 14' 59" W FOR A DISTANCE OF 658. 58 FEET; THENCE N 88 DEGREES 10' 15" E FOR A DISTANCE OF 572.35 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE LAST DESCRIBED COURSE N 88 DEGREES 10' 15" FOR A DISTANCE OF 941.62 FEET THENCE S 01 DEGREES 54' 22" E FOR A DISTANCE OF 617.48 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY OF PRATT AVENUE; THENCE S 88 DEGREES 07' 30" W FOR A DISTANCE OF 941. 95 FEET ALONG THE NORTH RIGHT-OF-WAY OF PRATT AVENUE; THENCE LEAVING SAID RIGHT-OF- WAY N 01 DEGREES 52' 30" W FOR A DISTANCE OF 618.23 FEET TO THE POINT OF BEGINNING.

PIN: 10 - 35 - 203 - 009

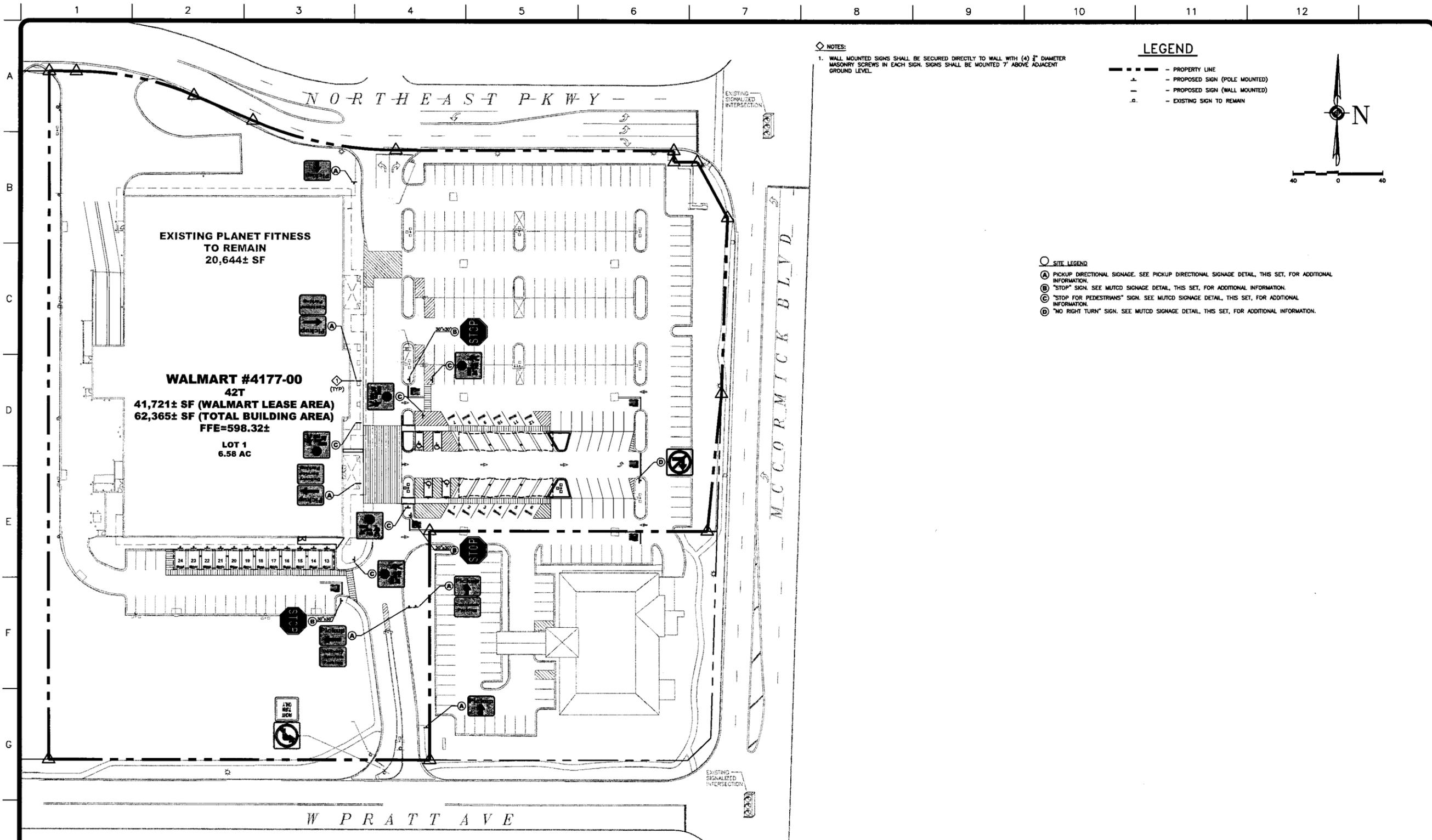
Commonly Known As: 6850 McCormick Boulevard, Lincolnwood, Illinois.

EXHIBIT B

Site Plan

EXHIBIT C

Site Circulation Signage Plan



NOTES:

1. WALL MOUNTED SIGNS SHALL BE SECURED DIRECTLY TO WALL WITH (4) 1/4" DIAMETER MASONRY SCREWS IN EACH SIGN. SIGNS SHALL BE MOUNTED 7' ABOVE ADJACENT GROUND LEVEL.

LEGEND

- - - - - PROPERTY LINE
- ⊥ PROPOSED SIGN (POLE MOUNTED)
- PROPOSED SIGN (WALL MOUNTED)
- ⊕ EXISTING SIGN TO REMAIN



SITE LEGEND

- (A) PICKUP DIRECTIONAL SIGNAGE. SEE PICKUP DIRECTIONAL SIGNAGE DETAIL, THIS SET, FOR ADDITIONAL INFORMATION.
- (B) "STOP" SIGN. SEE MUTCD SIGNAGE DETAIL, THIS SET, FOR ADDITIONAL INFORMATION.
- (C) "STOP FOR PEDESTRIANS" SIGN. SEE MUTCD SIGNAGE DETAIL, THIS SET, FOR ADDITIONAL INFORMATION.
- (D) "NO RIGHT TURN" SIGN. SEE MUTCD SIGNAGE DETAIL, THIS SET, FOR ADDITIONAL INFORMATION.

PICKUP EXTERIOR SIGN SCHEDULE

DESCRIPTION	DIMENSIONS	QUANTITY
RESERVED	18 X 18	24
PHONE NUMBER	8 X 18	24
VERTICAL PICKUP	18 X 36	24
PICKUP AHEAD	18 X 24	3
PICKUP LEFT	18 X 24	2
PICKUP RIGHT	18 X 24	1
CUSTOMER PARKING*	18 X 24	2
DELIVERY SERVICE PARKING*	18 X 24	2

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEC AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEC AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

*SITE SPECIFIC
ALL PICKUP WAY FINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



CALL 811

REVISIONS	BY

CARLSON CONSULTING ENGINEERS, INC.
 7045 LEDGESTONE COMMONS
 PH. (801) 384-0404 FAX (801) 384-0710
 ILL. FIRM LICENSE #154002221-0002



WALMART PICKUP #4177-00
 LINCOLNWOOD, COOK COUNTY, ILLINOIS
 WALMART, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716

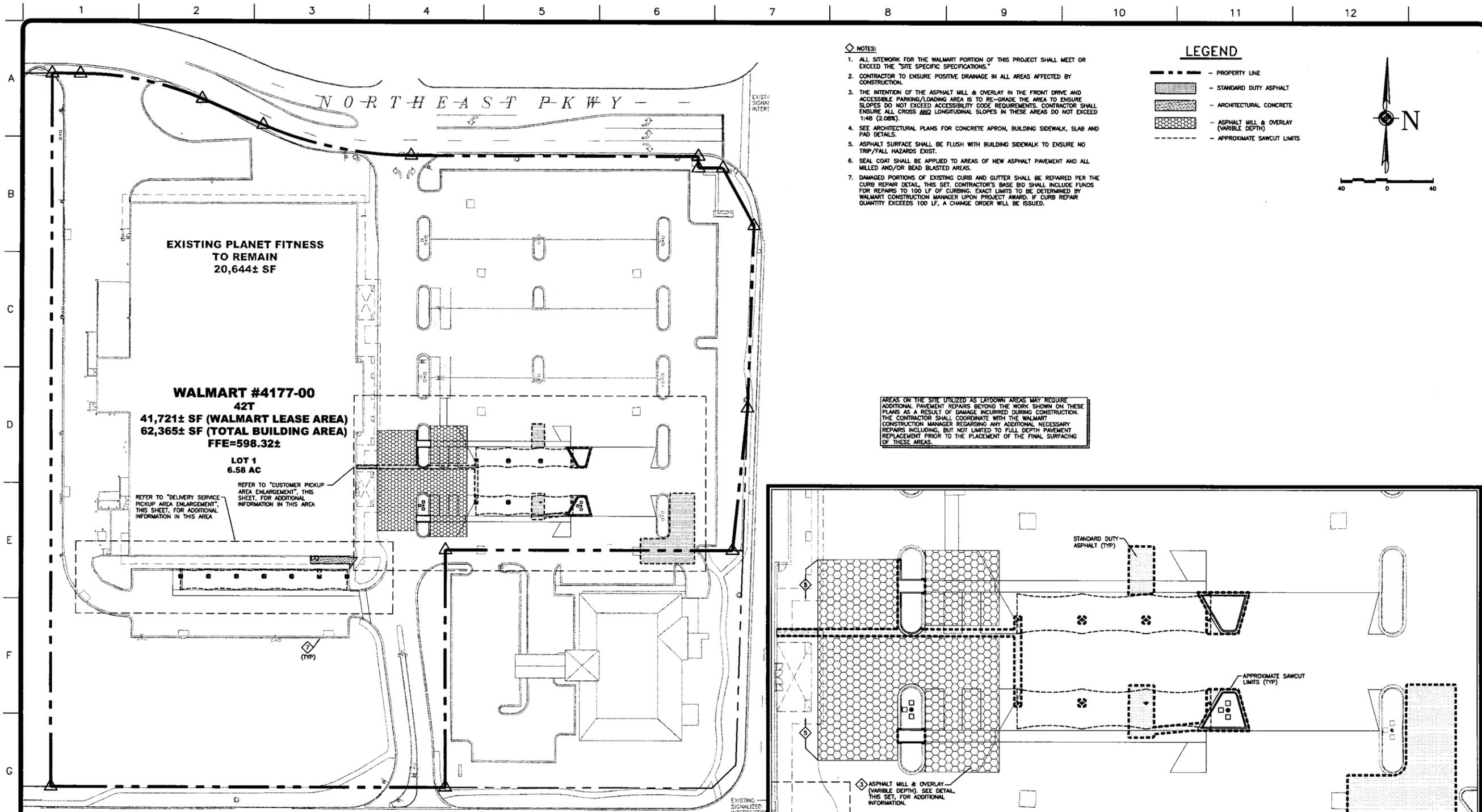


DRAWN	CMF
CHECKED	BKM
DATE	09/17/18
SCALE	1"=40'
JOB No.	4177-00
SHEET	11 OF 18 SHEETS

SITE CIRCULATION SIGNAGE PLAN

EXHIBIT D

Paving Plan



NOTES:

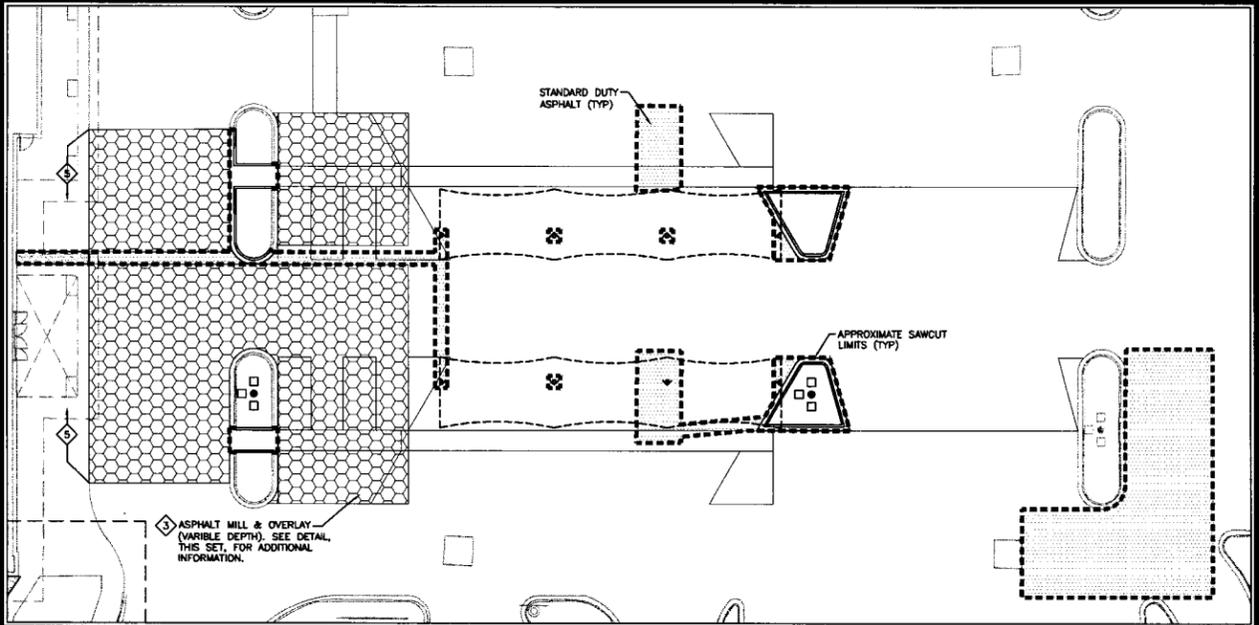
1. ALL SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "SITE SPECIFIC SPECIFICATIONS."
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS AFFECTED BY CONSTRUCTION.
3. THE INTENTION OF THE ASPHALT MILL & OVERLAY IN THE FRONT DRIVE AND ACCESSIBLE PARKING/LOADING AREA IS TO RE-GRADE THE AREA TO ENSURE SLOPES DO NOT EXCEED ACCESSIBILITY CODE REQUIREMENTS. CONTRACTOR SHALL ENSURE ALL CROSS AND LONGITUDINAL SLOPES IN THESE AREAS DO NOT EXCEED 1:48 (2.08%).
4. SEE ARCHITECTURAL PLANS FOR CONCRETE APRON, BUILDING SIDEWALK, SLAB AND PAD DETAILS.
5. ASPHALT SURFACE SHALL BE FLUSH WITH BUILDING SIDEWALK TO ENSURE NO TRIP/FALL HAZARDS EXIST.
6. SEAL COAT SHALL BE APPLIED TO AREAS OF NEW ASPHALT PAVEMENT AND ALL MILLED AND/OR BEAD BLASTED AREAS.
7. DAMAGED PORTIONS OF EXISTING CURB AND GUTTER SHALL BE REPAIRED PER THE CURB REPAIR DETAIL, THIS SET. CONTRACTOR'S BASE BID SHALL INCLUDE FUNDS FOR REPAIRS TO 100 LF OF CURBING. EXACT LIMITS TO BE DETERMINED BY WALMART CONSTRUCTION MANAGER UPON PROJECT AWARD. IF CURB REPAIR QUANTITY EXCEEDS 100 LF, A CHANGE ORDER WILL BE ISSUED.

LEGEND

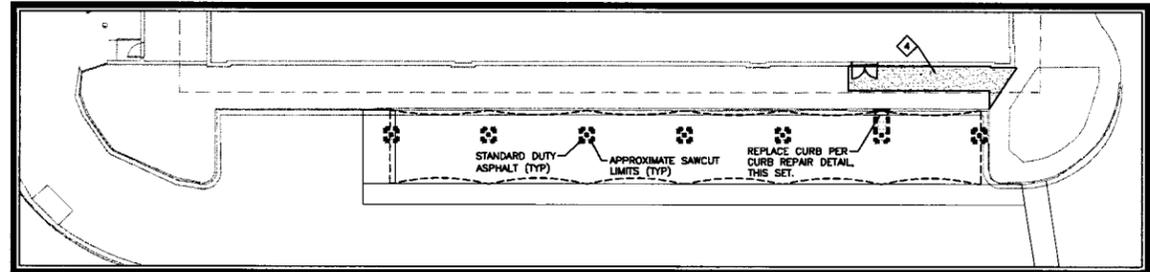
- - - - - PROPERTY LINE
- [Pattern] STANDARD DUTY ASPHALT
- [Pattern] ARCHITECTURAL CONCRETE
- [Pattern] ASPHALT MILL & OVERLAY (VARIABLE DEPTH)
- - - - - APPROXIMATE SAWCUT LIMITS



AREAS ON THE SITE UTILIZED AS LAYDOWN AREAS MAY REQUIRE ADDITIONAL PAVEMENT REPAIRS BEYOND THE WORK SHOWN ON THESE PLANS AS A RESULT OF DAMAGE INCURRED DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE WITH THE WALMART CONSTRUCTION MANAGER REGARDING ANY ADDITIONAL NECESSARY REPAIRS INCLUDING, BUT NOT LIMITED TO FULL DEPTH PAVEMENT REPLACEMENT PRIOR TO THE PLACEMENT OF THE FINAL SURFACING OF THESE AREAS.



CUSTOMER PICKUP AREA ENLARGEMENT
SCALE: 1"=20'



DELIVERY SERVICE PICKUP AREA ENLARGEMENT
SCALE: 1"=20'

NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE DAMAGE TO EXISTING ITEMS TO REMAIN DOES NOT OCCUR. THESE PRECAUTIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO USE OF LIGHTLY LOADED EQUIPMENT IN ORDER TO PREVENT DAMAGE TO EXISTING ROADWAYS AND INFRASTRUCTURE. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY EXISTING ON-SITE OR OFF-SITE ITEMS INCLUDING RELATED APPURTENANCES THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION ACTIVITIES ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, LANDSCAPING, IRRIGATION SYSTEMS, FENCING, RETAINING WALLS, PUBLIC ROADWAYS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS, AND SHALL BE TO THE SATISFACTION OF THE OWNER OF THE REPAIRED ITEM. PRIOR TO MAKING ANY REPAIRS, THE CONTRACTOR SHALL SUBMIT DETAILED REPAIR METHODOLOGY TO THE CEC AND WALMART CM. REPAIRS SHALL NOT BEGIN UNTIL WRITTEN APPROVAL FROM THE CEC AND WALMART CM HAS BEEN ISSUED. CONTRACTOR SHALL DOCUMENT ANY EXISTING DAMAGE WITH PHOTOS, VIDEOS, ETC., AND NOTIFY THE WALMART CONSTRUCTION MANAGER PRIOR TO COMMENCING CONSTRUCTION IN THE AREA OF THE EXISTING DAMAGED ITEM.

REVISIONS	BY

CARLSON CONSULTING ENGINEERS, INC.
 7088 LEDGESTONE COMMONS
 BARTLETT, TENNESSEE 38133
 TEL: (615) 384-0710
 ILL. FIRM LICENSE #18-002221-0002



WALMART PICKUP #4177-00
 LINCOLNWOOD, COOK COUNTY, ILLINOIS
 WALMART, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716



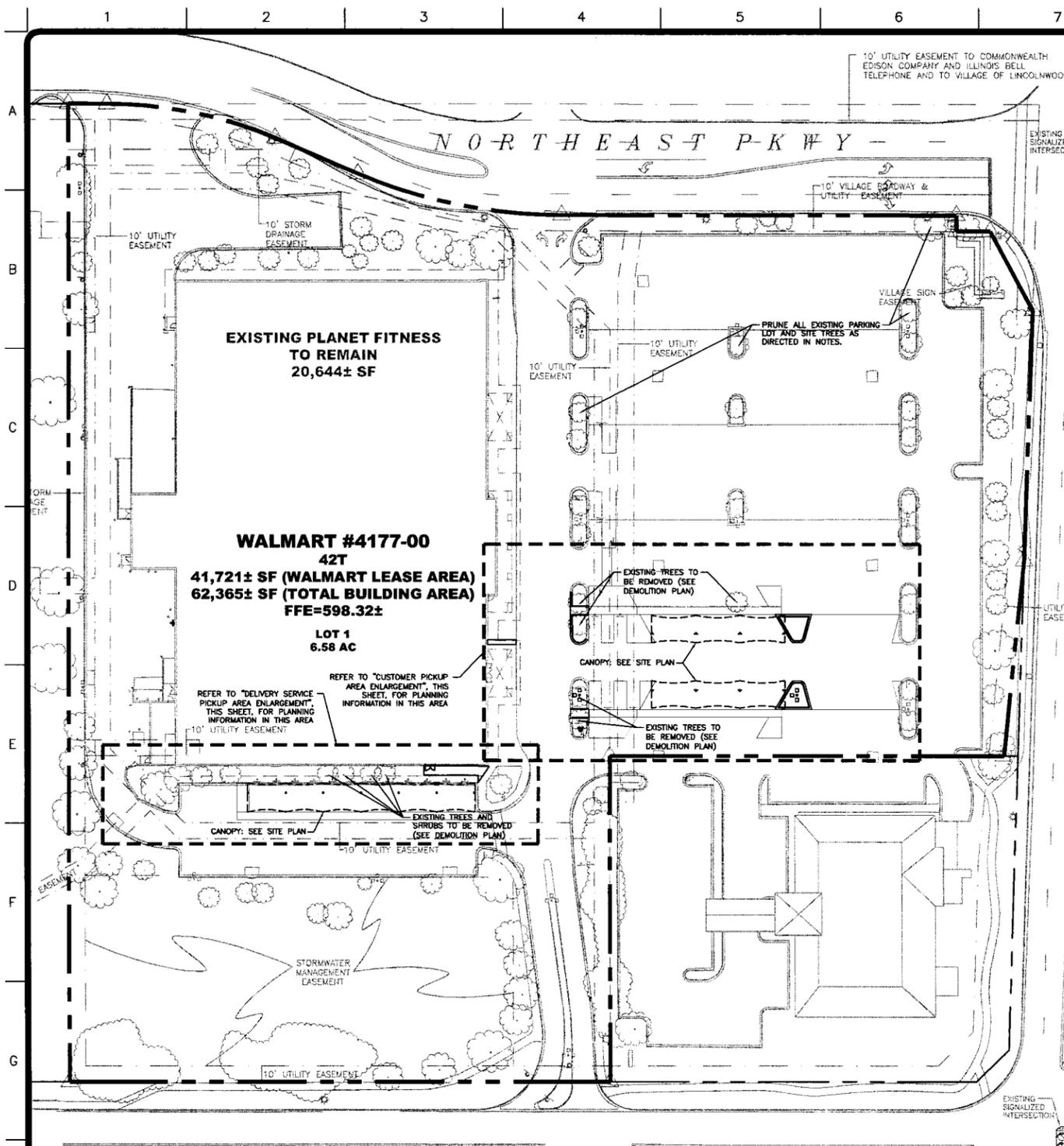
DRAWN	CMF
CHECKED	BKM
DATE	09/17/18
SCALE	1"=40'
JOB No.	4177-00
SHEET	12 OF 18 SHEETS

PAVING PLAN



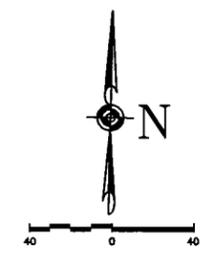
EXHIBIT E

Planting Plan and Planting Details



AUTOMATIC IRRIGATION IS NOT REQUIRED ON THIS PROJECT DUE TO ENVIRONMENTAL CONDITIONS THAT DO NOT WARRANT THE INSTALLATION OF A WATERING SYSTEM FOR PLANT ESTABLISHMENT AND SURVIVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WATERING AND MAINTENANCE OF ALL TURFGRASS AND PLANTINGS UNTIL THEY HAVE BECOME ESTABLISHED AND THE PROJECT WARRANTY HAS EXPIRED. UNDER NORMAL CIRCUMSTANCES, ONCE THE SPECIFIED PLANT MATERIAL HAS BECOME ESTABLISHED, SUPPLEMENTAL WATER IS NOT REQUIRED.

C. R. WALKER, P.L.A., PWS, CID, CLIA, ISA-CA, TN-GHP, CEI
LANDSCAPE ARCHITECT



- MAINTENANCE OF EXISTING LANDSCAPE VEGETATION THROUGHOUT THE PROPERTY:**
- THE CONTRACTOR IS TO PERFORM ALL NECESSARY PRUNING AND MAINTENANCE TO PROVIDE VISIBILITY AND A NEAT AND CLEAN APPEARANCE.
 - ALL DEAD BRANCHES ARE TO BE REMOVED FROM ALL EXISTING TREES.
 - ALL MEDIUM AND LARGE SCALE CANOPY TREES ARE TO HAVE THEIR LOWER BRANCHES PRUNED TO PROVIDE CLEARANCE AND VISIBILITY TO A MINIMUM HEIGHT OF 8'-0". SMALL SCALE AND ORNAMENTAL TREES ARE TO HAVE THEIR LOWER LIMBS PRUNED TO A MINIMUM HEIGHT OF 6'-0" OR 1/2 THEIR HEIGHT WHICHEVER IS APPROPRIATE. EVERGREEN TREES ARE TO REMAIN FULL TO THE GROUND.
 - ALL SHRUBS SHALL BE PRUNED IN ACCORDANCE WITH THEIR NATURAL GROWTH HABIT TO PROVIDE ADEQUATE VISIBILITY THROUGHOUT THE SITE.
 - ALL WEEDS ARE TO BE REMOVED FROM PLANTING AND GROUND COVER BEDS.
 - ALL TRASH AND DEBRIS IS TO BE REMOVED FROM THE PLANTING AND GROUND COVER BEDS, STORM DRAINAGE STRUCTURE, AND PARKING LOT.

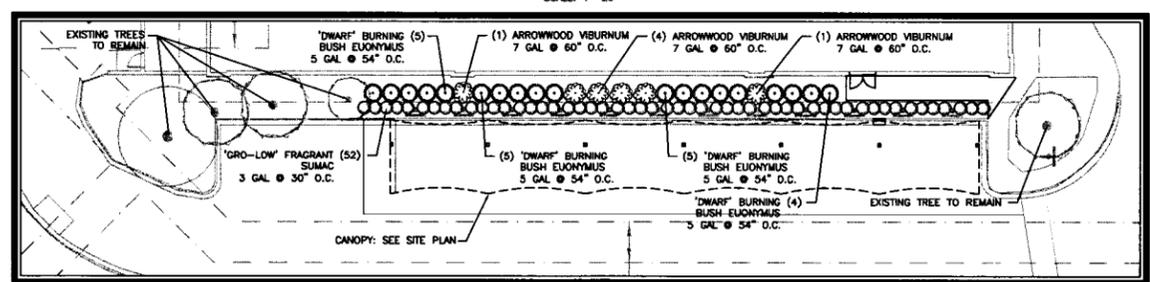
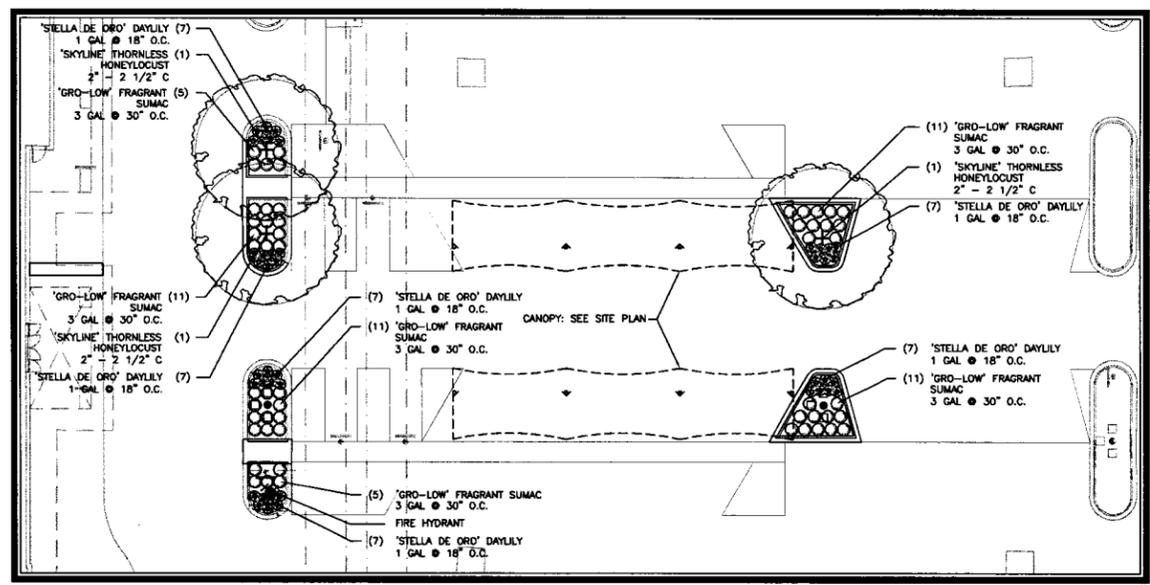
PLANT SCHEDULE

NOTE: ALL SIZES AND CONDITION OF NURSERY STOCK SHALL MEET THE STANDARDS ESTABLISHED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE (BOTH MIN'S TO BE MET)	SPACING	CONDITION	REMARKS
TREES:							
3	☉	GLEDITSIA TRIACANTHOS 'INERMIS' 'SKYLINE'	'SKYLINE' THORNLESS HONEYLOCUST	2" - 2 1/2" C / 12' - 14' HT	AS SHOWN	B&B/CONT	FULL HEAD w/UNIFORM GROWTH
SHRUBS:							
19	⊗	EUONYMUS ALATA 'COMPACTA'	'DWARF' BURNING BUSH EUONYMUS	5 GAL / 24" - 30" HT	54" O.C.	B&B/CONT	ROUND, FULL HEAD
6	⊗	VIORNUM DENTATUM	VIORNUM ARROWWOOD	7 GAL / 30" - 36" HT	60" O.C.	B&B/CONT	ROUND, FULL HEAD
GROUNDCOVERS:							
42	⊗	HEMEROCALLIS HYBRIDA 'STELLA DE ORO'	'STELLA DE ORO' DAYLILY	1 GAL	18" O.C.	CONT	NO BROKEN BLADES
106	⊗	RHUS AROMATICA 'GRO-LOW'	'GRO-LOW' FRAGRANT SUMAC	3 GAL / 15" - 18" SPD	30" O.C.	CONT	ROUND, FULL HEAD

NOTE: SYMBOLS SHOWN IN TABLE ABOVE ARE FOR SPECIES IDENTIFICATION ONLY. PLANT SIZE SHOWN IN THE TABLE IS NOT INTENDED TO BE REPRESENTATIVE OF THE PLANT AT EITHER INSTALLATION OR MATURITY. SIZE OF SYMBOL SHOWN IN TABLE ABOVE MAY VARY FROM THOSE SHOWN ON PLANS.

NOTE: NO SUBSTITUTIONS OF PLANT MATERIALS ARE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.



REVISIONS	BY

CARLSON CONSULTING ENGINEERS, INC.
7066 LEDGESTONE COMMONS
BENTONVILLE, AR 72716
PHONE: (479) 384-0710
FAX: (479) 384-0711
IL FIRM LICENSE #18-002221-0002



WALMART PICKUP #4177-00
LINCOLNWOOD, COOK COUNTY, ILLINOIS
WALMART, INC.
2001 SE 10TH STREET
BENTONVILLE, AR 72716



DRAWN	CMF
CHECKED	BKM
DATE	06/17/18
SCALE	1"=40'
JOB No.	4177-00
SHEET	14 OF 18 SHEETS



PLANTING PLAN

PLANTING NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST. NO PLANTING SHALL BE INSTALLED IN CONFLICT WITH UTILITIES.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON THE BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES ON THE PROJECT SITE AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS PRIOR TO PROCEEDING.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- TESTING OF ALL TOPSOIL SHALL BE APPROVED BY THE CEC AND LANDSCAPE ARCHITECT PRIOR TO ANY FINAL PLACEMENT OF MATERIAL ON SITE. TOPSOIL THAT DOES NOT COMPLY WITH THE PROJECT SPECIFICATIONS SHALL NOT BE DEPOSITED. CONTRACTOR SHALL AMEND OR REPLACE TOPSOIL AS NECESSARY TO ENSURE COMPLIANCE WITH PROJECT SPECIFICATIONS.
- THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- ALL LANDSCAPED AREAS SHALL BE SPRAYED WITH HERBICIDE 4 WEEKS PRIOR TO INSTALLATION OF LANDSCAPING. THE EXISTING MATERIAL SHALL BE REMOVED BEFORE ANY INSTALLATION OF PLANT MATERIAL OR SEED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ALL NEW TREES SHALL HAVE "MYCOR TREE SAVER" OR EQUAL MYCORIZAL FUNGAL TREATMENT INSTALLED AT RATE RECOMMENDED BY MANUFACTURER AT THE TIME OF INSTALLATION. CONTRACTOR TO SUBMIT INVOICES FOR PURCHASE AS EVIDENCE OF MATERIAL INSTALLATION.
- ALL TREES SHALL BE STAKED OR ANCHORED AS SHOWN IN THE DETAILS.
- WHEN INCLUDED, ALL SHRUB BED AREAS SHALL RECEIVE A MIN OF 8" OF PLANTING BED MIX AS DESCRIBED IN THE PLANTING BED PREP DETAIL.
- ALL BED AREAS SHALL BE BERMED A MINIMUM OF 8" TO PROMOTE GOOD BED DRAINAGE (AFTER GENTLE TOPSOIL TAMPING). BEDS SHALL BE MOUNDING FROM SIDES TO CENTER, PROMOTING GOOD DRAINAGE.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED. SEE PLANTING DETAILS.
- ALL CONSTRUCTION AREAS TO RECEIVE TURFGRASS SHALL RECEIVE A 4" MIN DEPTH OF SUITABLE TOPSOIL MIX PER DETAILS AND SPECIFICATIONS. RESULTS OF TOPSOIL ANALYSIS ARE TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR THE APPROVAL PRIOR TO ANY TURFGRASS OPERATIONS TAKING PLACE.
- PRIOR TO PLANTING OR SEEDING, MULTIPLE REPRESENTATIVE SAMPLES OF THE TOPSOIL SHALL BE TAKEN AND SENT TO THE STATE EXTENSION AGENCY FOR ANALYSIS. FERTILIZE SUITABLE TOPSOIL IN TURFGRASS AREAS AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR TURFGRASS SPECIES SPECIFIED ON PLANS. THE PLANTING BED MIX TO BE USED IN SHRUB PLANTING BEDS SHALL BE FERTILIZED AS PER EXTENSION SERVICE'S RECOMMENDATIONS FOR ORNAMENTAL PLANTINGS.
- ALL PLANTING BEDS SHALL HAVE "SURFLAN" OR EQUAL PRE-EMERGENT HERBICIDE BROADCAST AT RATE RECOMMENDED BY MANUFACTURER.
- PLANTING OPERATIONS SHALL ONLY TAKE PLACE DURING SUITABLE WEATHER CONDITIONS. PLANTS SHALL NOT BE INSTALLED WHEN THE SOIL IS EITHER HIGHLY SATURATED OR FROZEN.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. THE CONTRACTOR SHALL BE REQUIRED TO REPLACE EACH PLANT NO MORE THAN ONCE EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH THE REQUIREMENTS.
- DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VIGILE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD, WHERE APPLICABLE.
- ALL PLANTING AREAS, SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS, SHALL BE COMPLETELY COVERED WITH SHREDDED HARDWOOD MULCH FROM A LOCAL SOURCE, HARVESTED IN A SUSTAINABLE MANNER AND SHALL MAINTAIN A MINIMUM LAYER OF (4") FOUR INCHES IN DEPTH AFTER SETTLING, OR AS SPECIFIED ON THE CONSTRUCTION DRAWINGS.
- THERE IS NO SEPARATE PAY ITEM FOR DRESSING OUT SHRUB BEDS OR TREE SAUCERS WITH SHREDDED HARDWOOD MULCH, IT SHALL BE INCLUDED WITH THE COST OF ALL PLANT MATERIALS.
- ALL DISTURBED AREAS SHALL RECEIVE A 4" LAYER OF SUITABLE TOPSOIL AND HYDRO-SEED AND/OR SOD (WHERE SHOWN). WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
- ANY EXISTING OFFSITE IMPROVEMENTS (HARDSCAPE, UTILITIES, PLANT MATERIALS, ETC.) DAMAGED IN THE COURSE OF OFFSITE WORK SHALL BE REPLACED IN-KIND (INCLUDING SPECIFIC MATERIAL, COLOR, SIZE, SPECIES, CULTIVAR, ETC.) BY THE CONTRACTOR AT NO ADDITIONAL COST TO WALMART.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNCONDITIONALLY GUARANTEE, AND FULLY MAINTAIN ALL PLANT MATERIALS, LAWNS, AND WORKMANSHIP (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE PERIOD OF TIME SHOWN IN THE 02900 SPEC. AND IN ACCORDANCE WITH THE FOLLOWING EXTENDED MAINTENANCE/WARRANTY CHART AGAINST ALL DEFECTS AND WORKMANSHIP.

EXTENDED MAINTENANCE / WARRANTY CHART		
EXTENDED COMPLETION DATE	EXTENDED MAINTENANCE / WARRANTY EXPIRATION	DURATION
DECEMBER	JULY	18 MONTHS
JANUARY	JULY	18 MONTHS
FEBRUARY	JULY	17 MONTHS
MARCH	JULY	16 MONTHS
APRIL	JULY	15 MONTHS
MAY	JULY	14 MONTHS
JUNE	JULY	13 MONTHS
JULY	JULY	12 MONTHS
AUGUST	AUGUST	12 MONTHS
SEPTEMBER	SEPTEMBER	12 MONTHS
OCTOBER	OCTOBER	12 MONTHS
NOVEMBER	NOVEMBER	12 MONTHS

PLANTS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED FROM THE SITE AT THE DIRECTION OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS WITH PLANTS ALSO GUARANTEED FOR THE REMAINDER OF THE WARRANTY.

PLANTING NOTES

SHADE AND FLOWERING TREES				
CALIPER	HEIGHT TYPE 1	HEIGHT TYPE 2	MINIMUM DIAMETER BALL	BALL DEPTH
INCHES	FEET	FEET	INCHES	INCHES
1"	8'-10'	6'-7'	16"	12"
1-1/2"	10'-12'	8'-9'	20"	15"
2"	12'-14'	8'-10'	24"	18"
2-1/2"	12'-14'	8'-10'	28"	18"
3"	14'-16'	10'-12'	32"	19"
3-1/2"	14'-16'	10'-12'	36"	23"
4"	16'-18'	10'-12'	42"	25"
4-1/2"	16'-18'	10'-12'	48"	29"
5"	18'+	12'+	54"	32"
5-1/2"	18'+	12'+	57"	34"
6"	20'+	14'+	60"	36"
7"	24'+	16'+	70"	42"
8"	28'+	18'+	80"	48"

SOURCE: AMERICAN STANDARD FOR NURSERY STOCK - CALIPER TAKES PRECEDENCE OVER HEIGHT FOR TYPE 1 SHADE TREES.

TYPE 1 (LARGE SHADE TREES)	
ACER RUBRUM	
ACER SACCHARUM	
BETULA SPP	
CHINKO SPP	
GLABRATA SPP	
LABURNUM SPP	
QUERCUS SPP	
TAXODIUM SPP	
SALIX SPP	
ZELKOVA SPP	

TYPE 2 (MEDIUM SLOW SHADE TREES)	
ASCULUS SPP	
CELTIS SPP	
CLADRANTIS LUTEA	
FAGUS SYLVATICA	
KOELREUTERIA SPP	
LABURNUM SPP	
LIQUIDAMBAR SPP	
MAGNOLIA GRANDIFLORA	
NYSSA SPP	
OLEA EUROPA	
QUERCUS ALBA	
SORBUS SPP	
TILIA CORDATA	
ULMUS PARVIFOLIA	

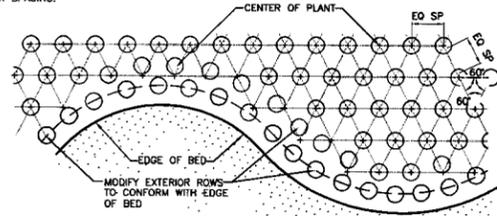
TYPE 3 (SMALL UPRIGHT TREES)	
ACER CAMPESTRE	
AMELANCHIER SPP	
CARPINUS SPP	
CERCIS SPP	
CRATAEGUS SPP	
COTYDORUM SPP	
MAGNOLIA VIRGINIANA	
PRUNUS SPP	
PYRUS SPP	
STYRAX SPP	
SYRINGA RETICULATA	

TYPE 4 (SMALL SPREADING TREES)	
ACER PALMATUM	
ACER GRiseum	
CORNUS SPP	
LAGERSTROMIA SPP	
MAGNOLIA SOULANGIANA	
MAGNOLIA STELLATA	
VITEX SPP	

ALL MINIMUM SIZES SHALL BE MET: CALIPER, HEIGHT, AND ROOT BALL.

TREE SIZE/ROOT BALL RELATIONSHIP

SPACING VARIES WITH PLANT SPECIES. SEE PLAN FOR SPACING.



MULCH SHALL BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL.

PLANT SPACING

NTS

NOTES:

- SEE PLANTING NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
- PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
- BRANCHING HEIGHT TO AIN STANDARDS.
- SEE PLANS & SPECS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS.
- CARE SHALL BE TAKEN NOT TO CUT, CRIMP OR FINCH ANY DRIP IRRIGATION TUBING WHILE INSTALLING TREE FROG TREE STAKING.
- IN HIGH WIND SITUATIONS, T-POST(S) SHALL BE ADDED IN ADDITION TO THE STAKING SHOWN ON THIS DETAIL AND THE TREE GUYED PERPENDICULAR TO THE TRUNK AT CHEST HEIGHT. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT OR WALMART CONSTRUCTION MANAGER PRIOR TO INSTALLING ANY ABOVE-GROUND STAKING. CONTRACTOR SHALL REMOVE ABOVE-GROUND STAKING AT THE END OF THE WARRANTY PERIOD.

PLANTING BED MIX:	
1. 20% EXISTING IMPROVED ONSITE SOIL	
2. 15% ORGANIC MATTER	
3. 40% SAND	
4. 25% SUITABLE TOPSOIL	
5. FERTILIZE AS RECOMMENDED BY EXTENSION SERVICE FOR ORNAMENTAL PLANTINGS.	

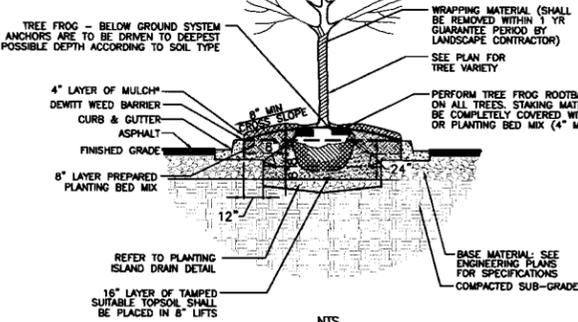
USE ONLY IN ABSENCE OF LOCALLY AVAILABLE LANDSCAPE PLANTING MIX

PARKING LOT ISLAND PREPARATION

- REMOVE ALL THE COMPACTED STONE AND FILL DIRT OUT OF THE CENTER OF THE ISLAND DOWN TO A DEPTH OF 2" BELOW THE TOP OF THE CONCRETE CURB. MAINTAIN REQUIRED ANGLES OF REPOSE OF ADJACENT MATERIALS. DO NOT EXCAVATE SUB-GRADES OF ADJACENT PAVING, STRUCTURES, HARDSCAPES, OR OTHER NEW OR EXISTING IMPROVEMENTS.
- SCARIFY SIDES OF EXCAVATION PIT SMOOTHED OR SMOOTHED DURING EXCAVATION.
- NOTIFY OWNER'S CEC IF SUBSOIL CONDITIONS SHOW SIGNS OF UNEXPECTED WATER SEEPAGE OR RETENTION WITHIN EXCAVATION AREA.
- LINE BOTTOM OF PIT W/ NON-WOVEN 8" LAYER (SLOPED BOTTOM) OF WASHED GRAVEL IN THE BOTTOM OF THE ISLAND TO PROVIDE ADEQUATE DRAINAGE.
- COVER ENTIRE GRAVEL LAYER WITH NON-WOVEN GEOTEXTILE FABRIC.
- ADD 16" LAYER OF SUITABLE TOPSOIL IN 8" LIFTS. TAMP EACH LIFT.
- ADD 8" OF SUITABLE PLANTING BED MIX ON TOP OF THE SUITABLE TOPSOIL. LIGHTLY TAMP THE PLANTING BED MIX AROUND THE BASE OF ALL TREES.
- GRADE AREAS TO FINISH GRADES, FILLING AS NEEDED TO ALLOW POSITIVE DRAINAGE. FLAT AREAS TO A SMOOTH, UNIFORM GRADE AS INDICATED ON THE DRAWINGS.
- ADD ANOTHER LAYER OF PLANTING BED MIX IN ADDITION TO THE 8" LAYER TO ACHIEVE THE REQUIRED BERMING EFFECT. MAKE SURE TO ADD THE NECESSARY AMOUNT OF PLANTING BED MIX TO ACHIEVE THE CORRECT BERMING HEIGHT.
- INSTALL DEWITT WEED BARRIER ON TOP OF THE PLANTING BED MIX AND PLACE 4" OF SHREDDED HARDWOOD MULCH ACROSS THE ENTIRE ISLAND.

BERMING CHART	
WIDTH OF ISLAND	BERM HEIGHT
3' - 4'	6"
4' - 6'	8"
6' - 8'	12"
> 8'	1-1/2" / 1'-0" WIDTH

USE THE BERMING CHART ABOVE TO CALCULATE BERM HEIGHTS FOR EACH ISLAND.

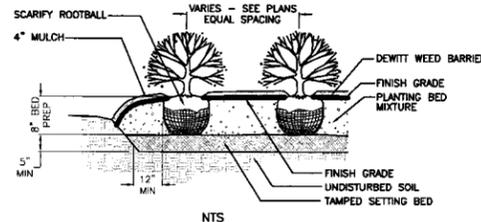


MULCH SHALL BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL.

TYPICAL ISLAND

TYPICAL BED LAYOUT:

- LAYOUT PERIMETER PLANTING SPACED AS PER PLAN.
- FILL IN PLANTING BED WITH TRIANGULAR SPACING.
- ADJUST AS PER LANDSCAPE ARCHITECT'S INSTRUCTIONS.



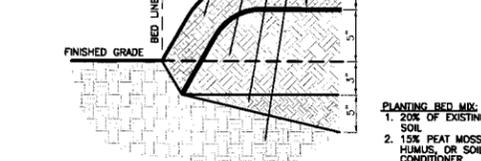
* NOTE: MULCH SHALL BE A 4" LAYER OF SHREDDED HARDWOOD MULCH AFTER SETTLING - UNLESS OTHERWISE NOTED.

MULCH SHALL BE KEPT AWAY FROM THE TRUNK OF ALL PLANT MATERIAL.

SHRUB PLANTINGS

PLANTING BED PREPARATION:

- LAYOUT BED LINE USING SMOOTH FLOWING CURVES.
- LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES.
- CUT INTO EXISTING SOIL AT APPROXIMATELY A 60° ANGLE, TURNING SOIL BACK INTO BED AREA.
- ADD AMENDMENTS AND TILL BED UNTIL BLEND.
- MAINTAIN CUT EDGE AT 3" DEPTH TO HOLD MULCH IN PLACE.



MULCH TO BE KEPT 3" AWAY FROM THE TRUNK OF ALL PLANT MATERIAL.

PLANTING BED PREP

TEMPORARY SEEDING

- SEED: MIXTURE 70% RYEGRASS/30% WINTER WHEAT 4 LBS / 1,000 SQ FT.
- AREAS TO RECEIVE SEED SHALL BE FERTILIZED WITH A COMPLETE FERTILIZER PER EXTENSION SERVICE'S RECOMMENDATIONS.
- SOD:
 - ALL SODDED AREAS SHALL BE TURF TYPE TALL FESCUE.
 - ALL CURBED ISLANDS SHALL BE SODDED UNLESS NOTED OTHERWISE.
 - SLOPES GREATER THAN 3:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - ALL AREAS TO BE SODDED SHALL RECEIVE A MINIMUM 4" LAYER OF SUITABLE TOPSOIL THAT MEETS THE CONDITIONS LISTED ABOVE AND THAT HAS BEEN TILLED, FINE GRADED, AND HAS HAD ALL STONES, ROOTS, DEBRIS, ETC REMOVED.
 - SOD SHALL BE LAID AS SOON AS IT IS DELIVERED TO PLANTING AREAS. ONLY HEALTHY MOIST GREEN SOD SHALL BE LAID. ANY SOD WHICH IS BROWN AND UNDER STRESS IS UNACCEPTABLE. ANY SOD WHICH IS NOT LAID WITHIN 24 HOURS OF DELIVERY SHALL BE UNACCEPTABLE.
 - SOD SHALL BE A MINIMUM OF 3/4" THICK, FREE OF WEEDS AND PESTS, AND CUT NO MORE THAN 24 HOURS PRIOR TO PLANTING.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER AND END JOINTS STAGGERED SO AS TO MAKE A SOLID SODDED AREA.
 - ANY JOINTS OR SEAMS THAT MAY EXIST AFTER LAYING SOD SHALL BE FILLED WITH SAND SO AS TO CREATE A SMOOTH AND UNIFORM GROWING SURFACE.
 - SOD SHALL BE ROLLED AND WATERED AT THE TIME OF INSTALLATION TO ENSURE GOOD SOD-SOIL CONTACT AND TO PROVIDE A SMOOTH, UNIFORM WALKING SURFACE.
- SOD IS TO BE PEGGED ON ALL SLOPES IN ORDER TO HOLD SOD IN PLACE. SEE LAWN AND GRASSES SPECIFICATIONS FOR OTHER REQUIREMENTS.
- ALL UNSURFACED AREAS SHALL RECEIVE 6" TOPSOIL AND SOD (WHERE SHOWN). WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SEEDING & SODDING NOTES

PLANTING DETAILS

REVISIONS	BY

CARLSON CONSULTING ENGINEERS, INC.
 7066 LEDGESTONE COMMONS
 BAPTIST UNIVERSITY CAMPUS
 BAPTIST UNIVERSITY CAMPUS
 BAPTIST UNIVERSITY CAMPUS
 IL FIRM LICENSE #18-000221-0002

LANDSCAPE ARCHITECT
 CHABLES R. WALKER
 157-000-0000
 STATE OF ILLINOIS

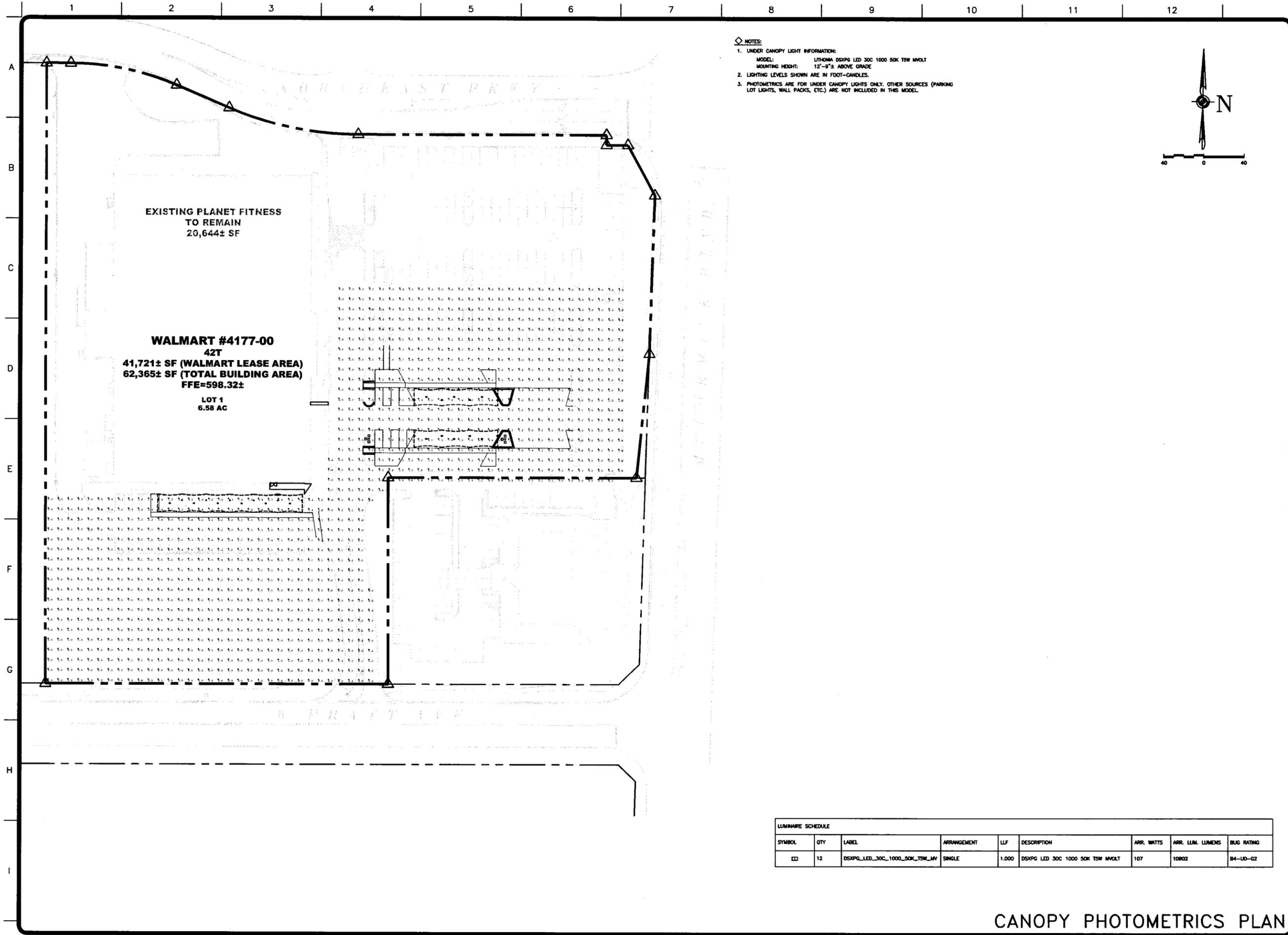
WALMART PICKUP #4177-00
 LINCOLNWOOD, COOK COUNTY, ILLINOIS
 WALMART, INC.
 2001 SE 10TH STREET
 BENTONVILLE, AR 72716

Walmart

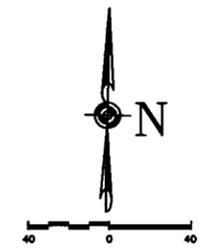
DRAWN: CMF
 CHECKED: BKM
 DATE: 09/17/18
 SCALE: NTS
 JOB No: 4177-00
 SHEET: 15 OF 18 SHEETS

EXHIBIT F

Canopy Photometric Plan



- NOTES:
- UNDER CANOPY LIGHT INFORMATION:
MODEL: LITHONIA DSXPG LED 30C 1000 50K TSW MVOLT
MOUNTING HEIGHT: 12'-9"± ABOVE GRADE
 - LIGHTING LEVELS SHOWN ARE IN FOOT-CANDELES.
 - PHOTOMETRICS ARE FOR UNDER CANOPY LIGHTS ONLY. OTHER SOURCES (PARKING LOT LIGHTS, WALL PACKS, ETC.) ARE NOT INCLUDED IN THIS MODEL.



REVISIONS	BY

CARLSON CONSULTING ENGINEERS, INC.
7048 LEDGESTONE COMMONS
N. WILSON AVENUE, SUITE 200
P.O. BOX 1111
JANESVILLE, WI 53402
TEL: (608) 785-4444 FAX: (608) 784-0710
ILL. FIRM LICENSE #184002221-0002



WALMART #4177-00
LINCOLNWOOD, COOK COUNTY, ILLINOIS
WALMART, INC.
2001 SE 10TH STREET
BENTONVILLE, AR 72716



LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	ARRANGEMENT	LF	DESCRIPTION	ARR. WATTS	ARR. LLUM. LUMENS	BUG RATING
□	12	DSXPG_LED_30C_1000_50K_TSW_MV	SINGLE	1,000	DSXPG LED 30C 1000 50K TSW MVOLT	107	10902	B4-U0-G2

DRAWN
CME
CHECKED
BKM
DATE
08/20/18
SCALE
1"=40'
JOB No.
4177-00
SHEET
1 OF 1

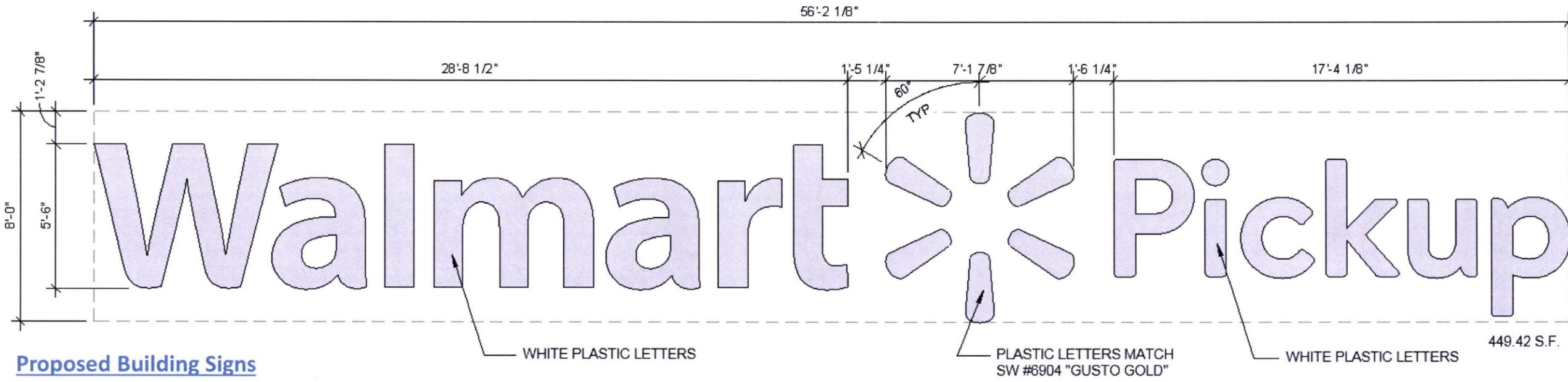
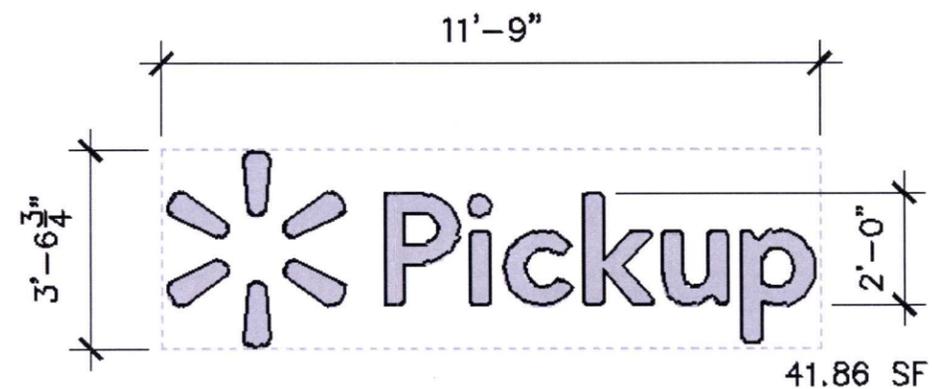
CANOPY PHOTOMETRICS PLAN

EXHIBIT G

Canopy Detail Drawings

EXHIBIT H

Signage and Elevations Plan



Proposed Building Signs

WHITE PLASTIC LETTERS

PLASTIC LETTERS MATCH SW #6904 "GUSTO GOLD"

WHITE PLASTIC LETTERS

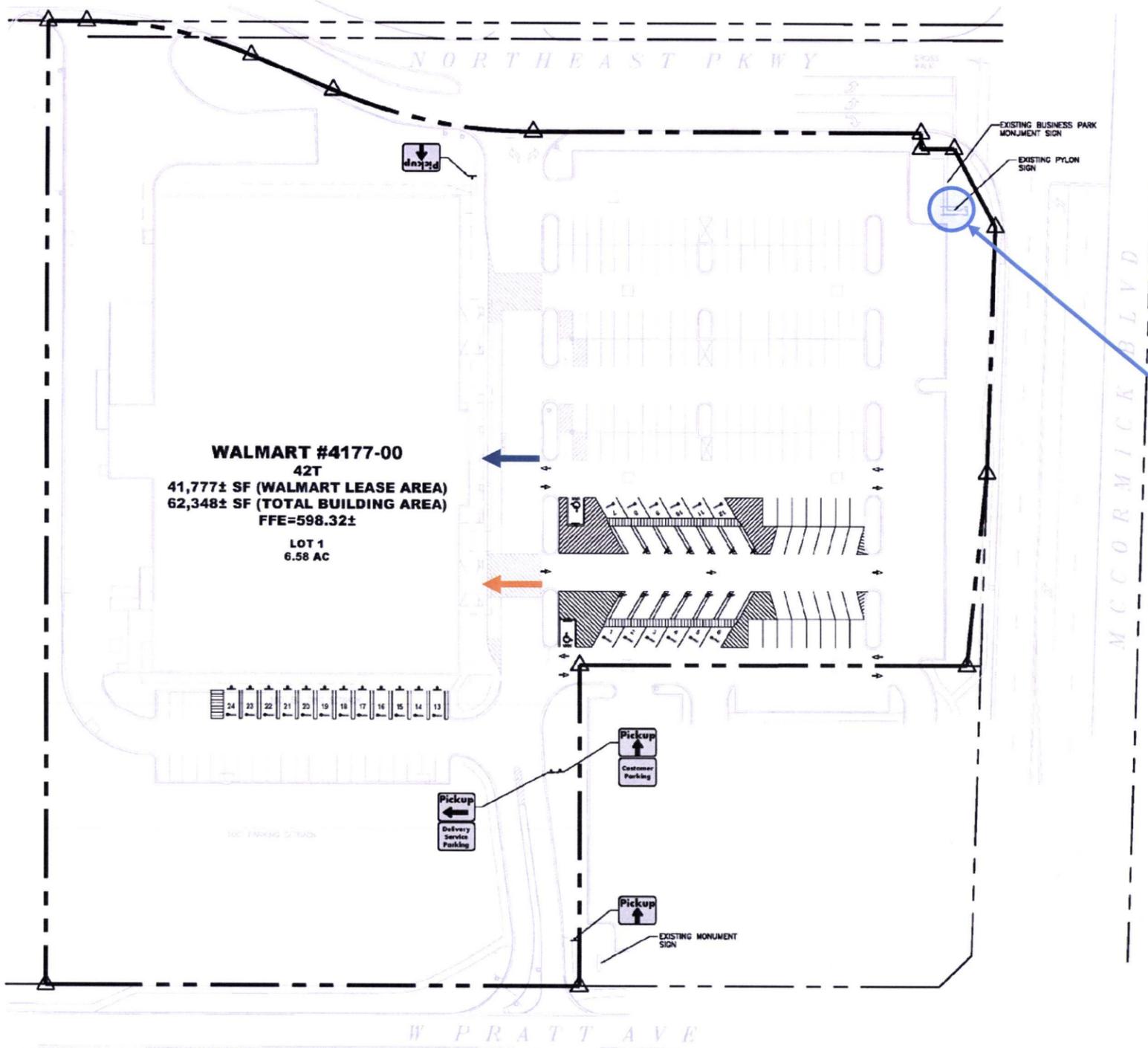
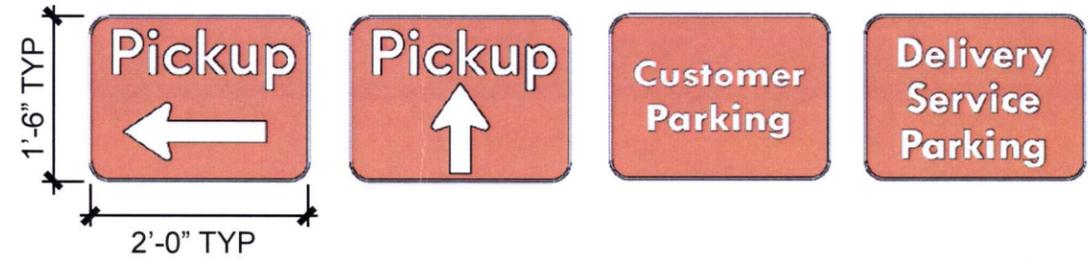
449.42 S.F.

↑ Walmart ID Building Sign

↑ Pickup Building Sign

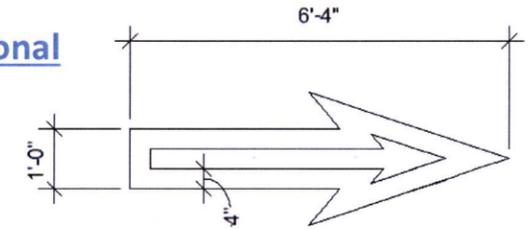
Proposed Directional Upright Signs

3.00 SF Each (x6)
18.00 SF Total

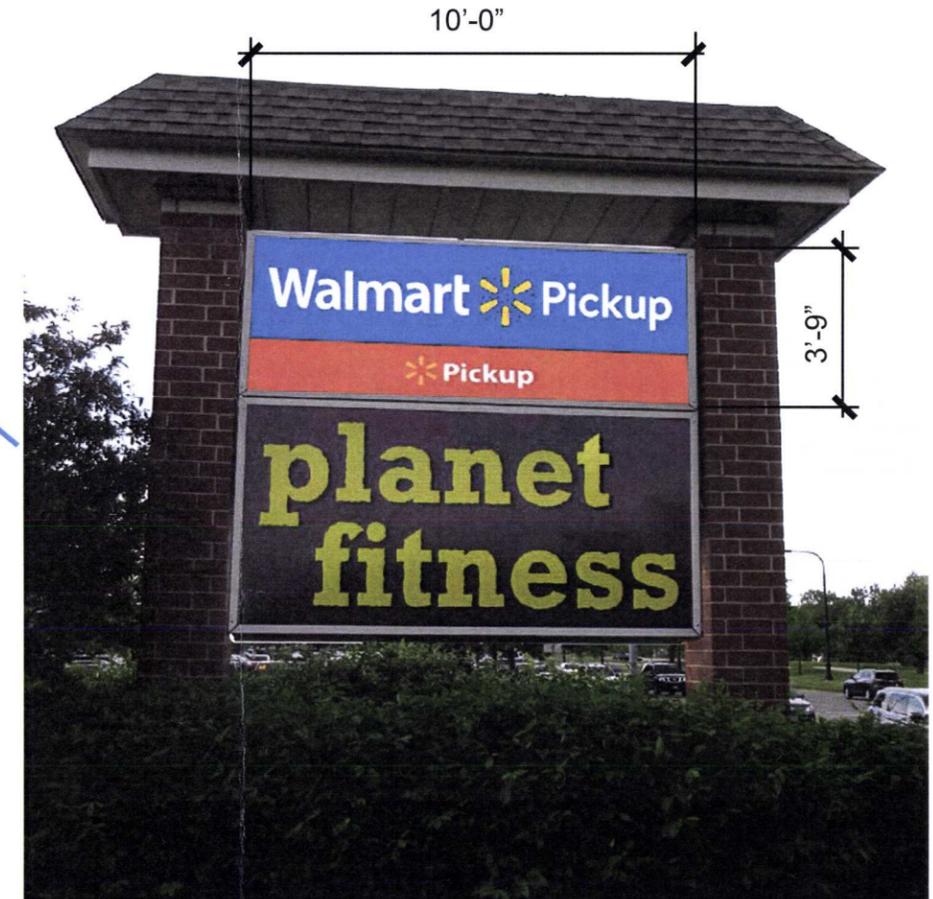


Proposed Directional Paving Signs

6.33 SF Each (x11)
69.63 SF Total



Existing



Proposed Pylon Sign

37.50 SF

EXHIBIT I

Unconditional Agreement and Consent

TO: The Village of Lincolnwood, Illinois ("*Village*");

WHEREAS, Lincolnwood Holdings, LLC ("*Owner*") is the record title owner of that certain property commonly known as 6850 North McCormick Boulevard, in the Village ("*Property*"); and

WHEREAS, Ordinance No. 2018-3362, adopted by the Village President and Board of Trustees on October 16, 2018 ("*Ordinance*"), approves amendments to an existing planned unit development for the Property, and approves zoning modifications and a special use permit for the Property, to permit the operation of a grocery store on the Property; and

WHEREAS, Section 12 of the Ordinance provides, among other things, that the Ordinance will be of no force or effect unless and until the Owner and Walmart, Inc. ("*Applicant*") have filed, within 30 days following the passage of the Ordinance, their unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Ordinance;

NOW, THEREFORE, the Owner and the Applicant do hereby agree and covenant as follows:

1. The Owner and the Applicant do hereby unconditionally agree to, accept, consent to, and will abide by, each and all of the terms, conditions, limitations, restrictions, and provisions of the Ordinance.
2. The Owner and the Applicant acknowledge that public notices and hearings have been properly given and held with respect to the adoption of the Ordinance, have considered the possibility of the revocation provided for in the Ordinance, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Owner and the Applicant acknowledge and agree that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of a variation for the Property or its adoption of the Ordinance, and that the Village's approvals do not, and will not, in any way, be deemed to insure the Owner or the Applicant against damage or injury of any kind and at any time.
4. The Owner and the Applicant do hereby agree to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Ordinance granting the variation for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2018

ATTEST:

By: _____

Its: _____

ATTEST:

By: _____

Its: _____

LINCOLNWOOD HOLDINGS, LLC

By: _____

Its: _____

WALMART, INC.

By: _____

Its: _____