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VILLAGE OF LINCOLNWOOD

ORDINANCE NO. Z99-051

AN ORDINANCE MODIFYING ORDINANCE Z99-044 AND ESTABLISHING THE
TERMS AND CONDITIONS RELATING TO THE DEVELOPMENT OF AND
GRANTING A SPECIAL USE, SITE PLAN APPROVAL AND A VARIATION FOR THE
BELL & HOWELL INDUSTRIAL PARCEL CONSISTING OF APPROXIMATELY 13.36
ACRES LOCATED WEST OF PRATT AVENUE AND MCCORMICK BOULEVARD IN
THE VILLAGE OF LINCOLNWOOD, COOK COUNTY ILLINOIS

ADOPTED BY THE
PRESIDENT AND BOARD OF TRUSTEES
OF THE
VILLAGE OF LINCOLNWOOD
THIS 1st DAY OF OCTOBER, 1999.

Published in pamphlet form by
the authority of the President
and Board of Trustees of the
Village of Lincolnwood, Cook
County, Illinois, this 30th
day of December, 1999.

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WHEREAS, the Village of Lincolnwood ("Village"), as a home rule municipality, in accordance with Article VII Section 6(a) of the Constitution of the State of Illinois of 1970, is enacting this Ordinance pursuant to its authority as a home rule unit and pursuant to the Village of Lincolnwood Code of Ordinances ("Code") including the Lincolnwood Zoning Ordinance ("Zoning Ordinance") which is Chapter 16 of the Code; and

WHEREAS, on June 17, 1999, the Board of Trustees approved Ordinance Z99-044 which granted "Preliminary Plat Approval for a Planned Unit Development upon Application of TDC Lincolnwood, L.L.C. for Approximately 8.53 Acres at Pratt Avenue and McCormick Boulevard in the Village of Lincolnwood, Cook County Illinois (the "PUD Property", which property is referred to in Ordinance Z99-044 as the "Property" and in this Ordinance as the PUD Property). The Preliminary Plat for the PUD Property contains a Dominick's Supermarket and one outlot which is designated for a non-retail use. The PUD Property is legally described in Exhibit "A" which is attached hereto and made a part hereof; and

WHEREAS, included in Ordinance Z99-044 were certain conditions relating to a parcel of land adjacent to the PUD Property which is located immediately to the west of the western line of the PUD Property, bounded on the south by Pratt Avenue and generally on the west by Accurate Threaded Fasteners, and on the north by the Lincolnwood Town Center Planned Unit Development, which is approximately 13.36 acres in size and which currently contains certain improvements that are occupied by Bell & Howell Document Management Products Company ("Bell & Howell"). Such parcel is legally described in Exhibit "B" attached hereto and made a part hereof (the "Industrial Parcel"); and

WHEREAS, the PUD Property and the Industrial Parcel are currently part of one unified parcel of land owned by Bell & Howell which is legally described in Exhibit "C" attached hereto and made a part hereof (the "Bell & Howell Property"); and

WHEREAS, Paragraph 21 of Ordinance Z99-044 provided:

21. A site plan for the Industrial Parcel shall be submitted to the PC/ZBA for its consideration and recommendations prior to issuance of a building permit for the Industrial Parcel. The Plan Commission shall determine whether the continued use of the Industrial Parcel requires any special uses or variations or whether any special conditions apply to the continued use of the Industrial Parcel. The Plan Commission shall take into account the conditions imposed by this Board on the PUD and consider how those conditions affect the use of the Industrial Parcel. If there are conflicts between the use of the Property with the conditions imposed on it herein and the use of the Industrial Parcel, the Plan Commission shall recommend ways in which such conflicts may be harmonized so that conditions placed thereon do not negate or obstruct the conditions placed on the PUD by this Ordinance or in any subsequently executed and recorded development agreement or covenants. The Plan Commission shall present its report and recommendations to the Board for its consideration and the Board may then take action. Any conditions or covenants placed on the Industrial Parcel by the Board, and agreements containing any such conditions or covenants, shall be publicly recorded.;

and

WHEREAS, Paragraph 22 of Ordinance Z99-044 provided:

22. Prior to the recording of a final plat of subdivision/planned unit development for the PUD, and the issuance of any building permit for any development or construction in the PUD, the following items relating to the landscape and site plans for the Industrial Parcel shall be submitted to the PC/ZBA for review:

- a. Evidence of the retention of approximately 250,000 square feet of the existing Bell & Howell building for permitted "M" Manufacturing Zoning District uses only, of which Bell & Howell shall be initially a primary tenant under the multi-year lease referred to above;
- b. A plan for the construction of a 3 to 5 foot landscaped berm, with an underground sprinkler system, to screen parking areas along Pratt Avenue from Trumbull Avenue to the west property line of the Industrial Parcel; and
- c. Evidence showing compliance with all applicable bulk regulations of the "M" Manufacturing Zoning District, including, without limitation, the regulations pertaining to off-street parking, off-street loading and stormwater management, or evidence in support of any requested variations to such regulations.;

and

WHEREAS, Paragraph 38 of Ordinance Z99-044 provided:

38. All existing and any new stormwater connections in the PUD and the Industrial Parcel shall be directed and/or redirected to the Village's 54 inch storm sewer main.;

and

WHEREAS, in accordance with Paragraph 21 of Ordinance Z99-044 a Final Site Plan dated September 20, 1999 (the "Site Plan") (which is attached hereto as part of Group Exhibit "D") for the Industrial Parcel has been submitted by Centerpoint Properties ("Petitioner" or "Applicant") on behalf of Bell & Howell for the Industrial Parcel; and

WHEREAS, in addition to submitting the Site Plan, Petitioner has made an application for a variation for parking purposes pursuant to proper public notice which is attached hereto as Exhibit "E"; and

WHEREAS, since the passage of Ordinance Z99-044, the parties whose actions are governed by that ordinance have engaged in certain discussions relating to the granting of final plat approval for the PUD Property and for the development of the Industrial Parcel; and

WHEREAS, as a result of these discussions, it has become apparent that the time sequence for the final plat approval of the Planned Unit Development for the PUD Property and the commencement of the development of the Industrial Parcel is not exactly the same; and

WHEREAS, Section Four, Paragraph 43 of Ordinance Z99-044 provided:

No building permits for either the Supermarket or the bank, or any demolition or building permits for the Industrial Parcel, shall be issued until a Final Plat of Planned Unit Development has been approved and recorded in accordance with the Zoning Ordinance.;

and

WHEREAS, it is necessary for several of the conditions required by Ordinance Z99-044, as they apply to the Industrial Parcel, to be modified, particularly with regard to the fact that the commencement of the development of the Industrial Parcel was contingent on the final plat for the PUD Property being approved and recorded; and

WHEREAS, such modifications will enable the development of the Industrial Parcel to commence prior to final plat approval for the PUD Property, the execution and recording of the redevelopment agreement for the PUD Property, and the final plat of

subdivision for the Bell & Howell Property. This will enable Applicant to obtain permits for the redevelopment of the Industrial Parcel in the 1999 construction season, and once having obtained those permits, the right to commence construction on the Industrial Parcel, including the parking lot on the west portion of the Industrial Parcel and water detention ponds on the south side of the Industrial Parcel; and

WHEREAS, the Industrial Parcel lies within the Village's Northeast Industrial Tax Increment Financing District ("NEID TIF"). Development of the Industrial Parcel as specified herein will benefit the Village's NEID TIF and the Village by maximizing revenues from property which is underdeveloped; and

WHEREAS, among the Village's stated goals in its Redevelopment Plan and Project for the NEID TIF which will be furthered by the redevelopment of the Industrial Parcel are:

- to maintain a diversity of land uses within the Village which encourages redevelopment that meets the future needs of the Village and which builds upon existing industrial/manufacturing and special development uses.
- to retain and upgrade sound buildings that are compatible with the overall redevelopment plan.
- to improve the quality of life of residents through enhanced employment opportunities and improved industrial-related developments.
- to provide jobs and potential business opportunities for community and village residents.
- to enhance the Village's image and the visual attractiveness of the area by encouraging quality building renovations and redevelopment plans, recognizing the importance of building materials and landscaping enhancements.;

and

WHEREAS, the planned redevelopment of the Industrial Parcel will provide substantial benefit to the Village in that when Bell & Howell enters into a long term lease with Centerpoint for the use of the Industrial Parcel, the Village will have retained a good and long standing corporate citizen. The retention of Bell & Howell's operations in the Village is consistent with general Village policy regarding retention of productive businesses, and the policy and goals established for the Village's NEID TIF; and

WHEREAS, the planned redevelopment of the Industrial Parcel which constitutes the majority of the Bell & Howell Property and which will continue to be used for industrial purposes, will further the retention of the current "M" Manufacturing District zoning and minimizes potential land use changes for the Industrial Parcel, and to the west of the Industrial Parcel, along Pratt Avenue, for the foreseeable future; and

WHEREAS, currently, and since the Industrial Parcel was originally developed, stormwater from the Industrial Parcel site is discharged directly into the Village's combined sewer system, which contributes to the overuse of that system and flooding problems for the surrounding area during heavy rain. Development of the Industrial Parcel as specified herein will benefit the Village in that when the Industrial Parcel is fully redeveloped and the connection into the existing 54 inch storm water sewer main located north of the PUD Property (the "54" Main") is constructed, the stormwater from the Industrial Parcel will be collected in newly created detention ponds and slowly released, into the existing 54" Main when such main is available to the Village, rather than being discharged into the Village's combined sewer system, thus alleviating the pressure on the Village's combined sewer system; and

WHEREAS, the redevelopment of the Industrial Parcel, in accordance with the Site Plan, will include significant amounts of berming and landscaping which will screen parking areas on the Industrial Parcel adjacent to Pratt Avenue and enhance the character of the development and will serve as a buffer to the other uses in the surrounding neighborhood; and

WHEREAS, the proposed "landbanking" of potential, but currently not needed parking areas, will enhance the appearance of the Industrial Parcel in that it will provide additional green space as opposed to wide swatches of unused asphalt; and

WHEREAS, the redevelopment of the Industrial Parcel and proposed reconfiguration of traffic flow will assist in the Village's efforts to improve traffic circulation and safety by reducing or eliminating truck traffic from Pratt Avenue; and

WHEREAS, public hearings relating to the development of the Industrial Parcel, the Site Plan, variations and conditions were held on September 8, 1999, September 15, 1999, and September 22, 1999 before the Village of Lincolnwood Plan Commission/Zoning Board of Appeals ("PC/ZBA") pursuant to the aforesaid proper notice and in compliance with the laws of the State of Illinois; and

WHEREAS, the PC/ZBA voted four (4) ayes to two (2) nays, to recommend approval of the application for the aforesaid Site Plan, a Special Use and a Variation; and

WHEREAS, the Board of Trustees concurs with and hereby adopts the findings of the PC/ZBA as presented in its Reports and Recommendations dated September 23, 1999 (which are attached hereto as Exhibit "F") and finds that the Site Plan and Special

Use will enhance the health, safety and welfare of the Village and the public in general and is in conformance with the standards for Special Uses as set forth in the Zoning Ordinance; and that the Variation for parking will have no detrimental impact on the health, welfare and safety of the public in general and is in compliance with the requirements for variations as set forth in the Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNWOOD, COOK COUNTY, ILLINOIS, as follows:

SECTION ONE. That the Preamble to this Ordinance is incorporated by reference into this Section One as if fully set forth herein.

SECTION TWO. That the provisions of Ordinance Z99-044 remain in effect except as specifically modified herein.

SECTION THREE. Development of the Industrial Parcel shall conform to the following final plans and plats which have been reviewed and approved by the Village (See, Group Exhibit D):

- a. Site Plan (entitled Final Site Plan) prepared by Architects Otis Koglin Wilson consisting of one page and bearing a most recent revision date of September 20, 1999;
- b. Architectural Statement/Architectural Elevations prepared by Otis Koglin Wilson consisting of two pages and bearing a most recent revision date of August 6, 1999;
- c. Proposed Space Plan prepared by Otis Koglin Wilson consisting of one page and bearing a most recent revision date of August 9, 1999;
- d. Final Landscape Development Plan (the "Landscape Plan") prepared by Architects Otis Koglin Wilson consisting of one page and bearing a most recent revision date of September 20, 1999;

- e. Parking Lot Photometrics prepared by Spaulding Lighting, Inc., consisting of one page and bearing a most recent revision date of August 6, 1999 and SK-4 Site Lighting Adaptation prepared by Architects Otis Koglin Wilson and bearing a most recent revision date of September 20, 1999 (the "Parking Lot Photometrics");
- f. Drainage and Utility Plan prepared by Cowhey Gudmundson and Leder, Ltd. and bearing a most recent revision date of August 11, 1999 and Stormwater Detention Calculations bearing a most recent revision date of August 10, 1999.

SECTION FOUR. The Site Plan, and a Special Use for the Industrial Parcel, pursuant to Chapter 10, Section B, 2, g of the Zoning Ordinance, are hereby approved with and subject to the following additional conditions:

- a. Submission by the Applicant of final engineering designs, and review and approval thereof by the Village Engineer.
- b. The Landscape Plan is subject to the final review and approval by the Village and its land planner, Camiros, Ltd., with respect to the following issues:
 - i. The few large gaps in the landscaping, including those which remain to the east of the entry drive where the detention basin comes close to the property line of the Industrial Parcel, will be filled in with large flowering shrubs and contained within defined planting beds or groundcover or perennials.
 - ii. Berm and detention basin contours and configurations will be evaluated after the site grading is reviewed.

There shall be an underground irrigation system in all landscaped areas in accordance with the Final Landscape Plan.

- c. Applicant will construct a 3 to 5 foot landscaped bermed area, with an underground sprinkler system in accordance with the approved Site Plan.
- d. Prior to the recording of a final plat of subdivision/planned unit development for the Bell & Howell Property a fully-executed copy of a lease shall be delivered to the Village that provides for Bell & Howell's leasing of the Industrial Parcel for a period of not less than 10 years.

- e. At the time that the plat of subdivision for the Industrial Parcel is created, the land area reserved on the Site Plan for stormwater detention shall be reserved for that purpose.
- f. All existing and any new stormwater sewer connections, serving the Industrial Parcel shall, within a reasonable period after the Village acquires the right to use the 54" Main, and in accordance with the development schedule for the Industrial Parcel, be directed and/or redirected to the 54" Main.
- g. Petitioner shall construct the parking lot on the west portion of the Industrial Parcel and the stormwater detention ponds as required by the Site Plan.
- h. Petitioner shall maintain the detention pond and adjacent areas consistent and in compliance with all applicable laws, codes and ordinances. If it fails to do so, the Village shall have the right to maintain said stormwater detention areas at Petitioner's expense. Petitioner shall grant easements to the Village to access, maintain, and inspect said stormwater detention facilities.
- i. Such stormwater detention ponds shall be connected to the stormwater sewer service line to be located on the PUD Property leading to the 54" Main within a reasonable period after the Village acquires the right to use the 54" Main, and in accordance with the redevelopment schedule for the Industrial Parcel. At the time such connection becomes operational, the currently existing storm water connection to the combined sewer system shall be disconnected. Petitioner shall maintain the stormwater sewer service lines in accordance with all applicable laws, ordinances and regulations.
- j. Petitioner shall enter into any necessary cross-easements with the owner of the PUD Property for water and stormwater mains and shall provide evidence of such easements to the Village within a reasonable period of time after the construction thereof on terms that are reasonably acceptable to such parties.
- k. The present method of eliminating stormwater from the Industrial Parcel by permitting stormwater to drain into the Village's combined sewer system shall continue until the stormwater detention ponds as required herein become operational, the Applicant has the right to use the 54" Main, all necessary connections are completed, and the Village Engineer gives his approval.

- l. The dimensions of parking stalls shall be as required by the Village's Zoning Ordinance, except as noted on the Site Plan.**
- m. There shall be no shared vehicular access between the PUD Property and the Industrial Parcel.**
- n. After the 12-month anniversary of the opening for business of the Supermarket to be located on the PUD Property, the Streets and Alleys Committee of the Board of Trustees will meet in consultation with Applicant, Bell & Howell and the Village's traffic engineer. If the intersection of Pratt Avenue and McCormick Boulevard or any point of access on Pratt Avenue to the PUD Property or the Industrial Parcel is operating at less than Level of Service ("LOS") "D", and the East - West Connector Road has been constructed from McCormick Boulevard to Central Park Avenue and is operational, the Board may require that the westerly employee point of access to the Industrial Property be closed during weekday evening peak hour periods provided the Village's traffic consultant concludes that such closure, either independently or in conjunction with other improvements or other traffic control remediation efforts in the area, will restore those intersections to LOS "D" or better.**
- o. Upon completion of the East-West Connector Roadway, truck access to the Industrial Parcel from Pratt Avenue shall be discontinued and relocated to provide truck ingress and egress from the East-West Connector Roadway as shown on the Site Plan. There shall also be points of employee ingress and egress from the East-West Connector Roadway as shown on the Site Plan.**
- p. Applicant shall not seek zoning relief to construct retail uses on the Industrial Parcel for a period of 10 years from the date of approval of this Ordinance.**
- q. All parking lot lighting (other than security lighting) on the Industrial Parcel shall be turned off by 12:00 a.m. Lighting shall be designed so as to be contained in the Industrial Parcel as shown on the Parking Lot Photometrics. Specifically, all lighting shall be required to be directed or shielded so as to avoid light spillage in accordance with Parking Lot Photometrics.**
- r. New watermains are to be installed on the east and west sides of the improvements on the Industrial Parcel which will connect the existing watermain on the north property line to the existing watermain on the south property line of the Industrial Parcel. The new watermain on the east side of the improvements on the Industrial Parcel shall be in service**

prior to discontinuing service from the existing 8-inch watermain; or in lieu thereof Applicant shall enter into an agreement with the Owner of the PUD Property for water hydrant stub outs on terms which are reasonably acceptable to such parties. In the latter event, the parties shall provide the Village with an easement to maintain, inspect and repair such stub outs. All watermains will be dedicated to the Village, and an easement will be granted in favor of the Village to maintain the watermains.

- s. Fire hydrant locations shall be as approved by the Village Fire Chief and Public Works Superintendent.
- t. All signage on the Industrial Parcel shall be in accordance with and subject to the provisions of the Village Sign Ordinance.
- u. The Village may establish restricted parking zones in the vicinity of the Industrial Parcel.
- v. Radio or television poles or towers and antennae shall be subject to the rules governing their placement in an "M" Manufacturing zone.

SECTION FIVE. A variation is hereby granted for the Industrial Parcel to defer construction (or "landbank") 44 of the required 587 parking spaces in accordance with the Site Plan and otherwise in accordance with the building regulations of the Village, provided that all construction is in accordance with this Ordinance and the exhibits which have been adopted herein by reference, and with the building regulations and ordinances of the Village of Lincolnwood subject to the following conditions:

That an amount of land sufficient to construct up to 44 additional parking spaces is landbanked pursuant to the Site Plan to enable Petitioner to meet the Village's parking requirements for an "M" Manufacturing Zone. Such landbanked area shall be grassed over until needed by Petitioner. Such landbanked area may be relocated if the Applicant submits an amended site plan relating to this issue and such amended plan is reasonably approved by the Village Administrator. Except as provided in the preceding sentence, before the Petitioner utilizes any of the landbanked area for parking or any other use, Petitioner shall file an application to release said condition and obtain the approval of the PC/ZBA and the Board of Trustees releasing Petitioner from complying with said condition. In addition, consideration of said condition by the PC/ZBA shall occur:

- a. At the time any building permit is requested which has the potential for increasing parking needs (such as converting warehouse space into office). A public hearing and assessment by the PC/ZBA must be held to determine if a landbanked area should be converted to parking;
- b. At the time just prior to the occupancy under any subsequent tenant leases a public hearing and assessment by the PC/ZBA must be held to determine if landbanked area should be converted to parking;
- c. At periodic intervals, when an assessment is made by the Village as to the adequacy of the off-street parking capacity of the Industrial Parcel. A public hearing and assessment by the PC/ZBA must be held to determine if a landbanked area should be converted to parking;
- d. At the time any future zoning relief or a zoning change on the Industrial Parcel is requested. A public hearing and assessment by the PC/ZBA must be held to determine if a landbanked area should be converted to parking;
- e. Upon receipt by the PC/ZBA or the Board of Trustees of complaints of off premises employee parking.

Petitioner shall install said parking stalls as directed by the Village, weather permitting. Such installation shall not be required during the months of November through March.

SECTION SIX. All property and structures in the Industrial Parcel (including, but not limited to all buildings and fences) shall be preserved by Applicant in a manner which is consistent and in compliance with all applicable laws, codes and ordinances.

SECTION SEVEN. Applicant shall procure and pay for all necessary permits and inspections required by any governmental entity.

SECTION EIGHT. All construction of any public improvements shall be in accordance with the Village Code. All construction of, and connections to, water mains and sewer service shall be in accordance with the Village Code (Chapter 13 - Water Main and Sewer Service Connections, as hereafter amended). All construction

of, and connections from, stormwater detention facilities shall be in accordance with all provisions of the Village Code (Chapter 15, Article 4 of the Village Code - Stormwater Management, as hereafter amended). Insurance and bonding requirements shall be as set forth below. Any deviation from the above noted construction standards shall be reviewed and approved by the Public Works Superintendent and the Village Engineer.

SECTION NINE. No permit for a public improvement, water connection or extension or for a sewer connection or extension or for the construction of any stormwater facility shall be issued by the Public Works Superintendent without the Applicant, or its contractor, securing and maintaining the following liability insurance policies insuring the Applicant as named insured and naming the Village, and its elected and appointed officers, officials, agents, and employees as additional insureds on the policies listed below:

- A. Commercial general liability insurance, including premises-operations, explosion, collapse, and underground hazard (commonly referred to as "X," "C," and "U" coverages) and products-completed operations coverage with limits not less than:
 - i. Five million dollars (\$5,000,000) for bodily injury or death to each person;
 - ii. Five million dollars (\$5,000,000) for property damage resulting from any one accident; and
 - iii. Five million dollars (\$5,000,000) for all other types of liability;
- B. Automobile liability for owned, non-owned and hired vehicles with a combined single limit of one million dollars (\$1,000,000) for personal injury and property damage for each accident;
- C. Worker's compensation with statutory limits; and

- D. Employer's liability insurance with limits of not less than one million dollars (\$1,000,000) per employee and per accident; and
- E. Excess or Umbrella Policies. The coverages required by this Section may be in any combination of primary, excess, and umbrella policies. Any excess or umbrella policy must provide excess coverage over underlying insurance on a following-form basis such that when any loss covered by the primary policy exceeds the limits under the primary policy, the excess or umbrella policy becomes effective to cover such loss.
- F. Copies Required. Applicant shall provide copies or certificates of insurance of any of the policies required by this Section to the Village at the time it applies for a permit to construct the facilities.
- G. Maintenance and Renewal of Required Coverages. The insurance policies required by this Section shall contain the following endorsement:

"It is hereby understood and agreed that this policy may not be canceled nor the intention not to renew be stated until thirty (30) days after receipt by the Village, by registered mail or certified mail, return receipt requested, of a written notice addressed to the Village Administrator of such intent to cancel or not to renew."

Within ten (10) days after receipt by the Village of said notice, and in no event later than thirty (30) days prior to said cancellation, the Applicant shall obtain and furnish to the Village evidence of replacement insurance policies meeting the requirements of this Section.

SECTION TEN. No permit for a water connection or extension or for a sewer connection or extension or construction of any stormwater facility shall be issued by the Superintendent of Public Works unless the person applying therefor, or the contractor, shall have filed with the Village, a performance bond with corporate surety thereon in the sum of three thousand dollars (\$3,000.00) for a water or sewer connection and for a water or sewer extension or the construction of any stormwater facility, a sum equal to one hundred ten percent (110%) of the estimated cost of the work to be done. Such performance bond shall be approved by the Village Attorney, conditioned upon the

applicant indemnifying and saving harmless the Village for all damage to underground utilities, or to the water and sewer mains and laterals of the Village, and from any failure to restore any road, ditch, pavement or portion thereof damaged during the construction of the water or sewer connection, or the water or sewer extension to the condition existing at the commencement of construction.

SECTION ELEVEN. By occupying or constructing any public facilities, or facilities in the right-of-way, the then owner of the Industrial Parcel, its agents, successors, and assigns, shall be deemed to agree to defend, indemnify and hold the Village and its elected and appointed officials and officers, employees, agents and representatives harmless from and against any and all injuries, claims, demands, judgments, damages, losses and expenses, including reasonable attorneys' fees and costs of suit or defense, arising out of, resulting from or alleged to arise out of or result from the negligent, careless or wrongful acts, omissions, failures to act or misconduct of the then owner of the Industrial Parcel or its affiliates, officers, employees, agents, contractors or subcontractors in the construction of facilities or occupancy of the rights-of-way, or in the construction of public facilities, and in providing or offering service over the facilities, whether such acts or omissions are authorized, allowed or prohibited by this Section or by a franchise, license, or similar agreement; provided, however, that the owner of the Industrial Parcel's indemnity obligations hereunder shall not apply to any injuries, claims, demands, judgments, damages, losses or expenses arising out of or resulting from the negligence, misconduct or breach of this Section by the Village, its officials, officers, employees, agents or representatives.

SECTION TWELVE. Applicant shall grant the Village a ten foot (10') easement along the north property line of the Industrial Parcel for the purpose of the Village's installation, placement, operation, maintenance and repair, of utilities, cable television, sewer, water, electricity, gas, street lighting, landscaping, snow storage and any other related public services commonly placed within the public right of way.

SECTION THIRTEEN. Applicant shall grant the Village, its duly designated officials, agents, employees and contractors of governmental bodies, having jurisdiction over the Industrial Parcel an easement to enter upon, on and over the Industrial Parcel for the purpose of providing police, fire protection, water service, sewer service and other municipal services to the Industrial Parcel, enforcing the applicable laws, ordinances, rules and regulations of the said governmental bodies, and enforcing the declaration of any covenants in regard to maintaining, repairing and replacing the water main and caring for in maintaining public facilities, including, but not limited to, the detention and retention ponds and any other stormwater facility. The Applicant, its successors and assigns shall hold the police and governmental personnel harmless from civil or criminal actions arising to a charge of trespass for entering the Industrial Parcel in performance of their duties.

SECTION FOURTEEN. All laws, ordinances, and regulations of all governmental and quasi-governmental agencies or authorities having jurisdiction over the Industrial Parcel shall be observed, and violations of laws, orders, rules, regulations or requirement of any governmental or quasi-governmental agency or authority having jurisdiction over the Industrial Parcel shall be immediately corrected and/or removed

by, and at the sole expense of the Applicant/Owner/Lessee responsible for the same.

SECTION FIFTEEN. Neither Applicant nor Bell and Howell shall seek any sales tax or tax increment financing (TIF) incentives from the Village in furtherance of the development of the Industrial Parcel.

SECTION SIXTEEN. The owner of the Bell & Howell Property shall prepare a plat of subdivision subdividing the Bell & Howell Property as described herein into the Industrial Parcel and the PUD Property. The Village shall consent to said subdivision after review and final approval by the Village Engineer. The approved plat of subdivision shall be publicly recorded by Applicant.

SECTION SEVENTEEN. After passage of this Ordinance, and following receipt of those final approvals required in Section Four, paragraphs a. and b. herein, the Applicant shall commence redevelopment of the Industrial Parcel and proceed to completion in an expeditious manner. The Applicant shall submit a schedule for the construction of the improvements on the Industrial Parcel, which schedule shall be subject to the review and reasonable approval of the Village Administrator. The Applicant shall have the right to submit revisions to the schedule as construction progresses, provided that the Applicant is proceeding with reasonable diligence. The schedule shall be subject to revision caused by *force majeure* or other conditions beyond the reasonable control of Applicant or its contractors.

SECTION EIGHTEEN. Neither Applicant nor Bell & Howell shall at any time petition for, seek or advocate the extension of Pratt Avenue over the sanitary district canal situated to the east of McCormick Boulevard.

SECTION NINETEEN. Applicant shall reimburse the Village, as billed, for the cost of engineering, legal and other consulting and professional services as incurred by the Village during the Site Plan, Variation and Special Use proceedings and procedures. Applicant shall pay for the cost of all necessary governmental permits and approvals (whether to be issued by the Village of Lincolnwood or by other governmental bodies and agencies), but not including such costs to the extent that they relate to the construction of the East-West Connector Roadway.

SECTION TWENTY. Section Four, paragraph 43 of Ordinance Z99-044 is hereby modified in that, rather than prohibiting the issuance of any building or demolition permits for the Industrial Parcel until a Final Plat of Planned Unit Development for the PUD Property, the redevelopment agreement for the PUD Property, and the plat of subdivision have been approved and recorded in accordance with the Zoning Ordinance, applicable permits for the Industrial Parcel may be issued following the adoption of this Ordinance (including the Site Plan) by the Village Board of Trustees and its public recordation.

SECTION TWENTY-ONE. The terms of this Ordinance as applicable, shall inure to the benefit of and be binding on Petitioner and Bell & Howell and their respective successors and assigns and upon successor grantees of the Industrial Parcel.

SECTION TWENTY-TWO. The specific terms and conditions of this Ordinance shall prevail against other ordinances of the Village to the extent that there might be any conflict. Except for the foregoing limitation, the development of the Industrial

Parcel shall be subject to, and nothing herein shall be deemed or construed to relieve Petitioner or Bell & Howell, from all the terms and conditions of applicable existing ordinances and regulations, except as expressly modified herein, and as they may be amended from time to time, of the Village of Lincolnwood, including, without limitation, Zoning Ordinances, building and safety codes, subdivision regulations, the Village's Sign Ordinance (Code 12-2-1 et seq.) and regulations governing the construction and design of public improvements.

SECTION TWENTY-THREE. Any person (person here includes, without limitation, any legal entity such as a corporation, partnership, limited liability company or other entity) violating the terms and conditions of this Ordinance shall be subject to a penalty of not to exceed Seven Hundred and Fifty Dollars (\$750.00), with each and every day that the violation of this Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees incurred by the Village in bringing any enforcement action.

SECTION TWENTY-FOUR. Upon the failure of Applicant to comply with any or all of the conditions, restrictions or provisions of Section Four of this Ordinance, the special use permit granted under Section Four hereof shall, at the discretion of the Village Board by ordinance duly adopted, be revoked and become null and void,

provided however: 1) the Village shall not so revoke the special use permit unless it first provides Applicant with written notice of the reasons for revocation and provides the Applicant a 30 day opportunity to cure the deficiencies identified by the Village; 2) if the time reasonably necessary to commence and complete the cure of the deficiencies identified by the Village shall be greater than 30 days, then such cure period shall be extended by an additional 30 day period; and 3) if the time reasonably necessary to commence and complete the cure of the deficiencies identified by the Village shall be greater than aforementioned 60 day period, then such cure period shall be extended by additional 30 day increments provided that Applicant demonstrates that it is diligently pursuing a cure of the deficiencies so identified. In the event that the deficiencies identified by the Village are not cured within the 30 day period (as may be extended as provided above), the Village shall give the Applicant 14 days advance written notice and an opportunity to be heard at a regular meeting of the Village Board. In the event of the revocation of the special use permit granted herein, the Village Attorney is hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances. Applicant and Bell & Howell acknowledge that a public hearing pursuant to public notice has been held with respect to the adoption of this Ordinance, and they represent that they (and each of them) have considered the possibility of the revocation provided for in this paragraph. Notices under this Section Twenty-Four shall be given, in writing, to the Applicant or its registered agent or Applicant's successor or its registered agent.

SECTION TWENTY-FIVE. This Ordinance shall be governed by and construed

under the laws of the State of Illinois. Applicant agrees that any action or proceeding in any way, manner or respect arising out of this Ordinance shall be litigated only in the courts having situs within the County of Cook, the State of Illinois.

SECTION TWENTY-SIX. That this Ordinance shall be in full force and effect from and after the passage, approval and publication in pamphlet form, as provided by law, provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by Applicant and Bell & Howell consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance and such execution shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted by the Corporate Authorities of the Village of Lincolnwood by motion.

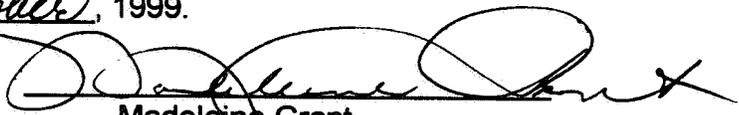
PASSED this 1st day of October, 1999.

AYES: *Trustees Inury, Elster, Cousin, May + Abelson*

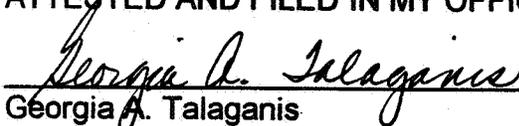
NAYS: *None*

ABSENT: *President Grant Trustee Leftaker*

APPROVED this 1st day of October, 1999.


Madeleine Grant
Village President

ATTESTED AND FILED IN MY OFFICE:


Georgia A. Talaganis
Village Clerk

Acceptances:

Centerpoint Properties, Inc., being the contract purchaser of the property legally described within this Ordinance and referred to as the Industrial Parcel, having read a copy of this Ordinance, and having the authority to agree on behalf of Centerpoint Properties Inc., and to execute this Ordinance, does hereby accept, concur with and agree to develop and use the Industrial Parcel in accordance with the terms of this Ordinance, contingent upon Centerpoint's acquisition of fee simple title to the Industrial Parcel.

Centerpoint Properties, Inc.

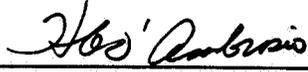
By 

Its Michael M. Mullen
Chief Operating Officer

Dated: October 15, 1999
December

Bell & Howell Document Management Products Company, being the owner of the property legally described within this Ordinance and referred to as the Bell & Howell Property, having read a copy of this Ordinance, and having the authority to agree on behalf of Bell & Howell Document Management Products Company, and to execute this Ordinance, does hereby accept and concur with the terms of this Ordinance.

Bell & Howell Document Management Products Company

By 

Its V.P. ADMINISTRATION

Dated: October 20, 1999
DEC.

Ordinance Z99-_____

Joinder:

TDC Lincolnwood, L.L.C., as the contract purchaser of the property legally described within this Ordinance and referred to as the Bell & Howell Property or a portion thereof, having read a copy of this Ordinance, executes this joinder for the sole and limited purposes of confirming its consent to the adoption of said Ordinance and its agreement to grant the easements referred to in Section Four hereof.

TDC Lincolnwood, L.L.C.

By _____
Its Manager

Dated: October _____, 1999

OK Joe
12/27/99

EXHIBIT A

LEGAL DESCRIPTION OF PUD PROPERTY

A parcel of land in the northeast 1/4 of Section 35, Township 41 North, Range 13 East, of the Third Principal Meridian, in Cook County, Illinois, being more particularly described as follows:

Commencing at the southeast corner of the Northeast 1/4 of Section 35, Township 41 North, Range 13 East, thence northwesterly along the West line of the Northeast 1/4 of said section N 00° 14' 59" W for a distance of 1316.39 feet to a point; thence N 88° 10' 15" E for a distance of 1513.97 feet to the Point of Beginning; thence continue along the last described course N 88° 10' 15" E for a distance of 612.71 feet to a point on the west right-of-way of McCormick Boulevard; thence S 00° 03' 31" E for a distance of 597.30 feet to a point at the northwest intersection of McCormick Boulevard and Pratt Avenue; thence S 44° 02' 00" W 28.73 feet to a point on the north right-of-way of Pratt Avenue; thence S 88° 07' 30" W 572.81 feet along the north right-of-way of Pratt Avenue; thence leaving the north right-of-way of Pratt Avenue N 01° 54' 22" W for a distance of 617.48 feet to the Point of Beginning. Said parcel contains 8.53 Acres, more or less.

PIN: 10-35-203-006

EXHIBIT B

LEGAL DESCRIPTION OF INDUSTRIAL PROPERTY

A parcel of land in the Northeast 1/4 of Section 35, Township 41 North, Range 13 East, of the Third Principal Meridian, Bounded and described as follows:

Commencing at the Point of Intersection of a Line 40 Feet North of and Parallel with the South Line of the Northeast 1/4 of Said Section 35 (Being also the North Right-of-Way Line of Pratt Avenue) and the West Line of the East 660 Feet of the Northeast 1/4 of Said Section 35, Thence South 88 Degrees 07 minutes 30 seconds West along said Line 40 feet North of and Parallel with the South Line of the Northeast 1/4, of Said Section 35, a Distance of 1,533.97 feet to a Point 400 Feet East (as Measured along said parallel line) of a Line 83 Feet East of the West Line of the Northeast 1/4 of Said section 35 for a Point of Beginning; thence North 01 degrees 52 minutes 30 seconds West, a Distance of 618.23 Feet to the South Line of the North Half of the South Half of Said Northeast Quarter; Thence North 88 Degrees 10 Minutes 15 Seconds east along said south line, a Distance of 941.92 Feet; Thence South 01 Degrees 54 minutes 22 seconds East, a Distance of 617.48 Feet to the North Right-of-Way Line of Said Pratt Road; Thence South 88 Degrees 07 minutes 30 Seconds West Along Said North Right-of Way Line, a Distance of 941.95 Feet to the Point of Beginning containing 13.36 Acres More or Less, in Cook County, Illinois commonly referred to as 3400 and 3450 West Pratt Avenue.

PIN: 10-35-203-008

EXHIBIT C

LEGAL DESCRIPTION OF THE BELL & HOWELL PROPERTY

LEGAL DESCRIPTION OF PUD PROPERTY

A parcel of land in the northeast 1/4 of Section 35, Township 41 North, Range 13 East, of the Third Principal Meridian, in Cook County, Illinois, being more particularly described as follows:

Commencing at the southeast corner of the Northeast 1/4 of Section 35, Township 41 North, Range 13 East, thence northwesterly along the West line of the Northeast 1/4 of said section N 00° 14' 59" W for a distance of 1316.39 feet to a point; thence N 88° 10' 15" E for a distance of 1513.97 feet to the Point of Beginning; thence continue along the last described course N 88° 10' 15" E for a distance of 612.71 feet to a point on the west right-of-way of McCormick Boulevard; thence S 00° 03' 31" E for a distance of 597.30 feet to a point at the northwest intersection of McCormick Boulevard and Pratt Avenue; thence S 44° 02' 00" W 28.73 feet to a point on the north right-of-way of Pratt Avenue; thence S 88° 07' 30" W 572.81 feet along the north right-of-way of Pratt Avenue; thence leaving the north right-of-way of Pratt Avenue N 01° 54' 22" W for a distance of 617.48 feet to the Point of Beginning. Said parcel contains 8.53 Acres, more or less.

PIN: 10-35-203-006 and

LEGAL DESCRIPTION OF INDUSTRIAL PROPERTY

A parcel of land in the Northeast 1/4 of Section 35, Township 41 North, Range 13 East, of the Third Principal Meridian, Bounded and described as follows:

Commencing at the Point of Intersection of a Line 40 Feet North of and Parallel with the South Line of the Northeast 1/4 of Said Section 35 (Being also the North Right-of-Way Line of Pratt Avenue) and the West Line of the East 660 Feet of the Northeast 1/4 of Said Section 35, Thence South 88 Degrees 07 minutes 30 seconds West along said Line 40 feet North of and Parallel with the South Line of the Northeast 1/4, of Said Section 35, a Distance of 1,533.97 feet to a Point 400 Feet East (as Measured along said parallel line) of a Line 83 Feet East of the West Line of the Northeast 1/4 of Said section 35 for a Point of Beginning; thence North 01 degrees 52 minutes 30 seconds West, a Distance of 618.23 Feet to the South Line of the North Half of the South Half of Said Northeast Quarter; Thence North 88 Degrees 10 Minutes 15 Seconds east along said south line, a Distance of 941.92 Feet; Thence South 01 Degrees 54 minutes 22

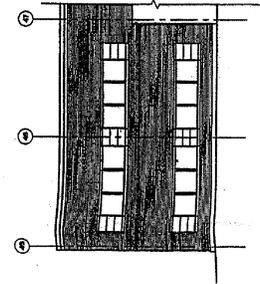
seconds East, a Distance of 617.48 Feet to the North Right-of-Way Line of Said Pratt Road; Thence South 88 Degrees 07 minutes 30 Seconds West Along Said North Right-of Way Line, a Distance of 941.95 Feet to the Point of Beginning containing 13.36 Acres More or Less, in Cook County, Illinois commonly referred to as 3400 and 3450 West Pratt Avenue.

PIN. 10-35-203-008

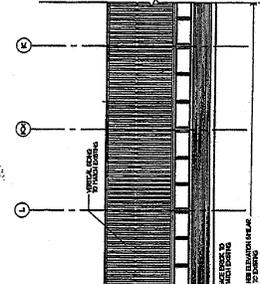
GROUP EXHIBIT D

SITE PLAN FOR INDUSTRIAL PARCEL

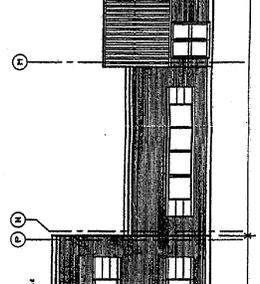
REDUCED COPY



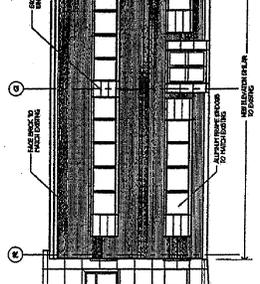
63 PARTIAL NORTH ELEVATION
SCALE 1/8" = 1'-0"



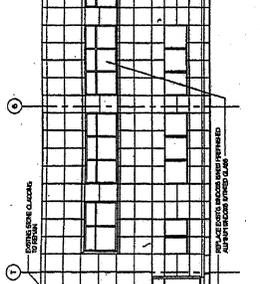
62 EAST ELEVATION (SOUTH HALF)
SCALE 1/8" = 1'-0"



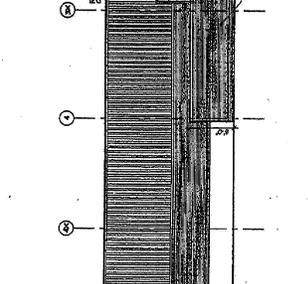
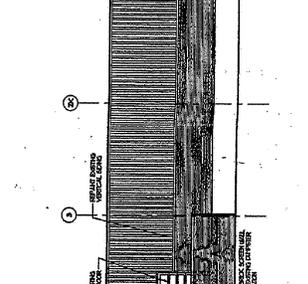
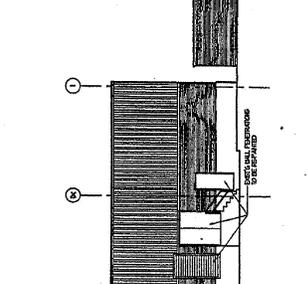
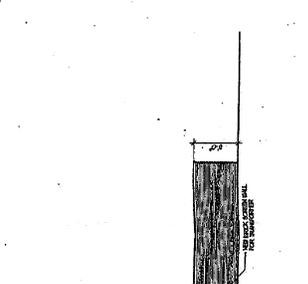
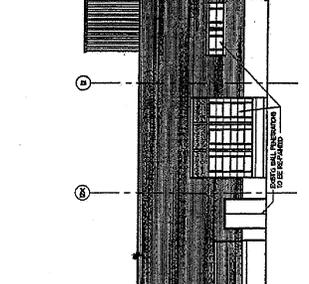
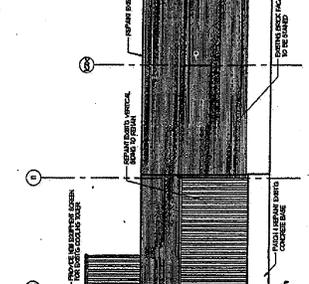
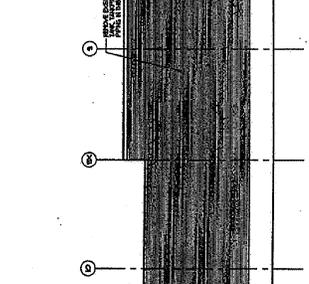
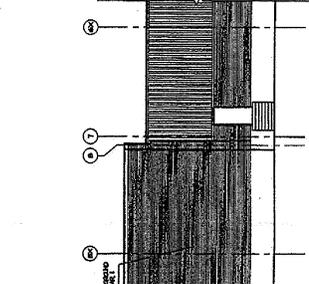
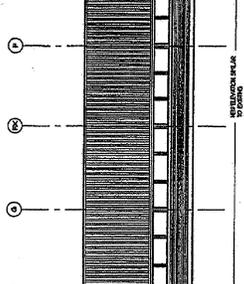
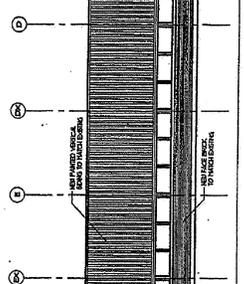
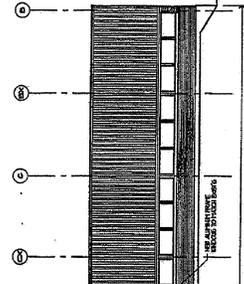
64 EAST ELEVATION (NORTH HALF)
SCALE 1/8" = 1'-0"



65 NORTH ELEVATION (EAST HALF)
SCALE 1/8" = 1'-0"



66 NORTH ELEVATION (WEST HALF)
SCALE 1/8" = 1'-0"



BELL & HOWELL
LINCOLNWOOD, ILLINOIS



O'Keefe, Kohn, Wilson
Architects
100 N. Dearborn St., Room 6000
Chicago, Illinois 60610
(312) 427-2000

PROPOSED ELEVATIONS 1/8" = 1'-0"
6800 MCCORMICK

AUGUST 3, 1959
80061

CAMIROS

411 South Wells, Chicago, Illinois 60607 Phone: (312)922-9211 Fax: (312)922-9689 <http://www.camiros.com>

September 22, 1999

Robert Bocwinski
Administrator
Village of Lincolnwood
6900 N. Lincoln Avenue
Lincolnwood, IL 60646

Re: Bell and Howell Facility
Center Point Properties Trust

Dear Mr. Bocwinski:

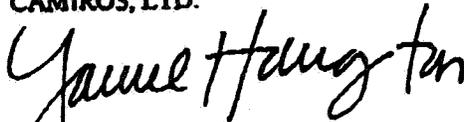
Upon review of the most recent Center Point submittal for the Bell and Howell facility, dated September 20, 1999, we find that the landscape design issues identified by our September 2nd letter have been addressed on this latest plan. However, we have a few remaining comments regarding these issues and find the following:

Landscape Design Issues

- The shrub and tree treatment has been extended along the entire Pratt Avenue frontage and perennials/ground cover has been added to the ground plane. However, a few large gaps remain to the east of the entry drive where the detention basin comes close to the property line, among a few others. We would like to see these gaps closed with large flowering shrubs and contained within defined planting beds of groundcover or perennials.
- Conceptual berm and detention basin contours have been shown on the plan. We will reserve our comments regarding the berm configurations for a time after which site grading can be reviewed.

This review has been conducted based on the information provided. These comments are subject to final review and approval by the Village. Please call with any questions regarding our comments

Sincerely,
CAMIROS, LTD.



Laurel S. Harrington, ASLA
Senior Associate

September 20, 1999

Mr. Robert Bocowinski
Village Administrator
Village of Lincolnwood
6900 Lincoln Avenue
Lincolnwood, Illinois 60646

Re: Bell & Howell Facility
OKW Project No. 98062

Dear Mr. Bocowinski:

On behalf of Center Point Properties and Bell & Howell, OKW pleased to submit the revised Final Site Plan and Final Landscape Development Plan for approval by the reviewing body of Lincolnwood. These documents have been modified to incorporate all of the comments and concerns brought forth by staff and the Plan Commission in our last appearance before them. Please review this information and distribute as necessary in preparation of the upcoming Plan Commission public hearing September 23, 1999.

Recent changes to the plans are as follows:

- The Final Site Plan has eliminated the previously proposed emergency access drives in lieu of paved access as discussed with the Plan Commission. The impact to the plan results in an increase to the proposed parking count. The revised total parking count is 291, four more than the required 287 spaces.
- The Final Landscape Development Plan incorporates minor modifications per the direction of Ms Laurel Harrington. Portions of the proposed landscape material along the Pratt Avenue berm have been changed to be consistent with those species utilized on the neighboring Dominick's site. In addition the shrub masses proposed as part of that berm now exhibit concise bed lines under-planted with groundcovers and perennials as recommended.
- The parking lot site lighting has been examined to ascertain the most appropriate means to shield the lens from the view of passersby. An external shield shall be applied to the street side of the fixture to ensure that the lens will not be visible. The shield will be a custom adaptation applied directly to the housing. In addition the proposed fixtures nearest the public right-of-way along the two points of egress from Pratt Avenue will be eliminated resulting in a minimum light fixture setback of 80' from the center line of Pratt Avenue.



Otis Koglin Wilson
Architects

185 Milwaukee Ave.
Lincolnshire IL 60069
T 847.478.9200
F 847.478.9211

30 West Monroe St.
Chicago IL 60603
T 312.782.6853
F 312.704.6653

I trust you will find these revisions in compliance with the recommendations of Staff and the Plan Commission. We have resolved all outstanding planning and landscape issues and therefore request your support as we present this petition to the Plan Commission on the September 23, 1999 public hearing. Should you have any questions or require any further information please do not hesitate to call me directly.

Sincerely,
Otis Koglin Wilson Architects



Roger T. Dupler
Landscape Architect

C002_rtd

cc: Laurel S. Harrington - Camiros
Jim Clewlow - Center Point Properties
Stephanie Kim - Katz Randall & Weinberg
Hank D'Ambrosio - Bell & Howell
Bob Matthews - Bell & Howell



CAMBRIDGE I & II

APPLICATIONS

Planned communities, parks, walkways, parking areas, stairs, entrances, residential streets, marinas, school campuses and other no-glare applications.

CONSTRUCTION FEATURES

Housing — One piece die-cast aluminum housing with soft radius corners. Lens door is also cast aluminum with soft radius corners. Lens is a clear tempered, impact resistant, glass held in place with sealant and retaining clips. A continuous gasket seals the door assembly to the housing.

Mounting — An extruded aluminum arm, using four bolts, is provided for rigid attachment of luminaire to pole.

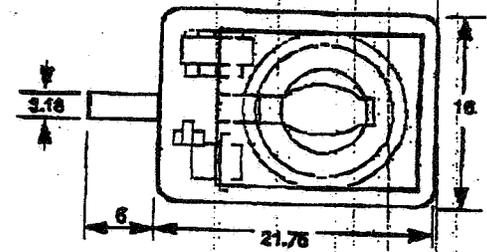
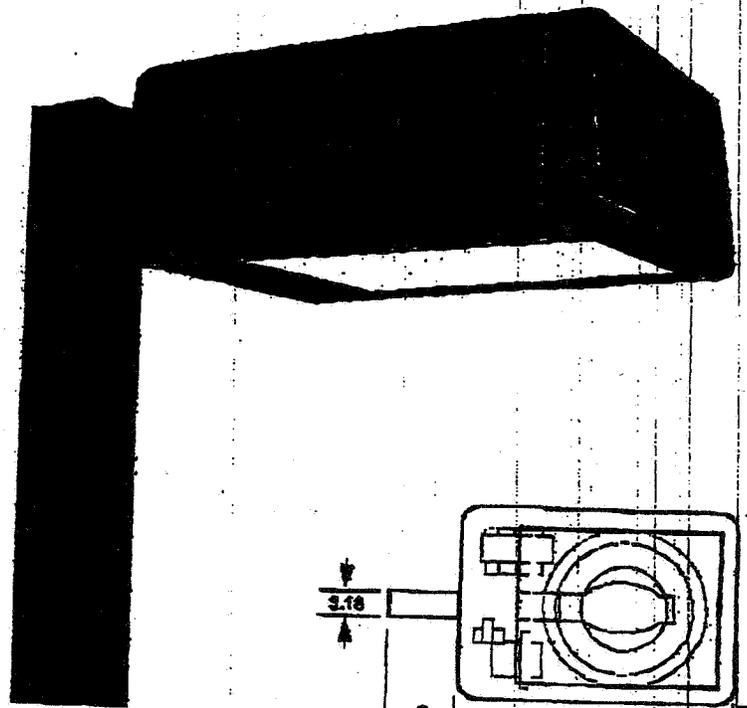
Optical Assemblies — Specular anodized aluminum reflectors provide square symmetrical (type V), forward throw (type IV) or narrow asymmetrical (type III) lighting patterns. Reflector is mounted with hinges and captive locking screws into housing for easy access to ballast.

Ballast Assembly — Starting rated to -20°F. Ballasts for Metal Halide are constant wattage autotransformer type. Ballasts for High Pressure Sodium are constant wattage autotransformer type using an electronic starter. Ballasts are mounted directly to die-cast housing for reduced temperature and increased life. All ballasts are high power factor.

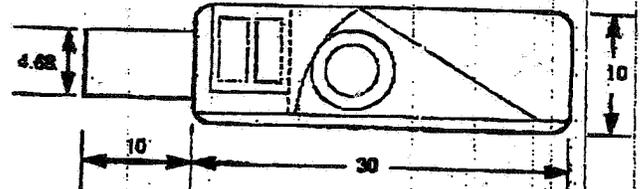
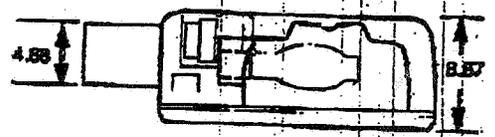
Lamps — Luminaires accommodate Metal Halide and High Pressure Sodium mogul base lamps.

Lampholder — Mogul base glazed porcelain socket with spring loaded, nickel plated center contact and reinforced lamp grip screw shell. High Pressure Sodium sockets are pulse rated.

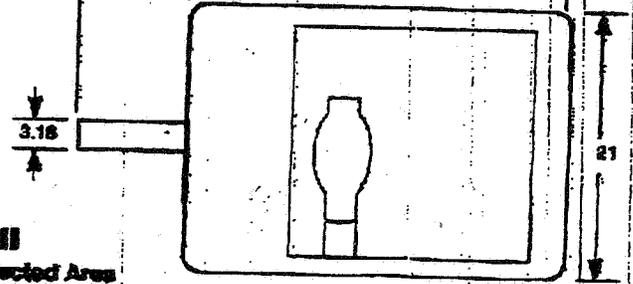
Finish — Durable baked-on polyester paint finish is available in 10 standard colors. Other finishes are available.



CE I
Effective Projected Area
1.5



CE II
Effective Projected Area
2.9

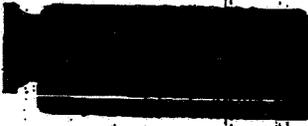


SPAUDLING
LIGHTING, INC.

CAMBRIDGE I & II

LUMINAIRE ORDERING GUIDE

UL & CSA Listed

Model	CEI - small size (EPA - 1.8)						CEI - large size (EPA - 2.8)			
Mounting Mode	PM						WB			
										
	Pole Mount						Wall Bracket			
Lamp Type/ Watts	small size S100 S150 S250 S400 M175 M250 M400						large size S400 S1000 M400 M1000			
Reflector	III - asymmetric IV - forward throw VS - symmetric square									
Voltage	120 208 240 277 347 480 MT - Multi-tap									
Options	PC - photoelectric cell 120-277v, up to 400w PR - photo receptacle (less cell) VS - polycarbonate vandal guard						SF - single fuse DF - double fuse CS - house side cutoff shield			
Colors for Luminaire and Pole	DBZ	BGE	RFR	SGB	WHT	FGP	TBP	RBP	CNB	LTG
	dark bronze	beige	rust red	black	white	forest green	teal blue	royal blue	burgundy	lip grey
Luminaire Ordering Example	Model	Mounting Mode	Lamp Type Watts		Reflector	Voltage	Options	Color		
										
	CEI CEI	PM, pole mount WB, wall bracket CEI CEI for CEI WB, wall bracket	Small S100 S150 S250 S400 M175 M250 M400	Large S400 S1000 M400 M1000	III, asymmetric IV, forward throw VS, V-square	120 208 240 277 347 480 MT multi-tap	PC, photoelectric cell 120-277v, up to 400w PR, photo receptacle (less cell) SF, single fuse DF, double fuse VS, polycarbonate vandal guard CS, house side cutoff shield	DBZ, dark bronze BGE, beige RFR, rust red SGB, black WHT, white FGP, forest green TBP, teal blue RBP, royal blue CNB, burgundy LTG, lip grey		

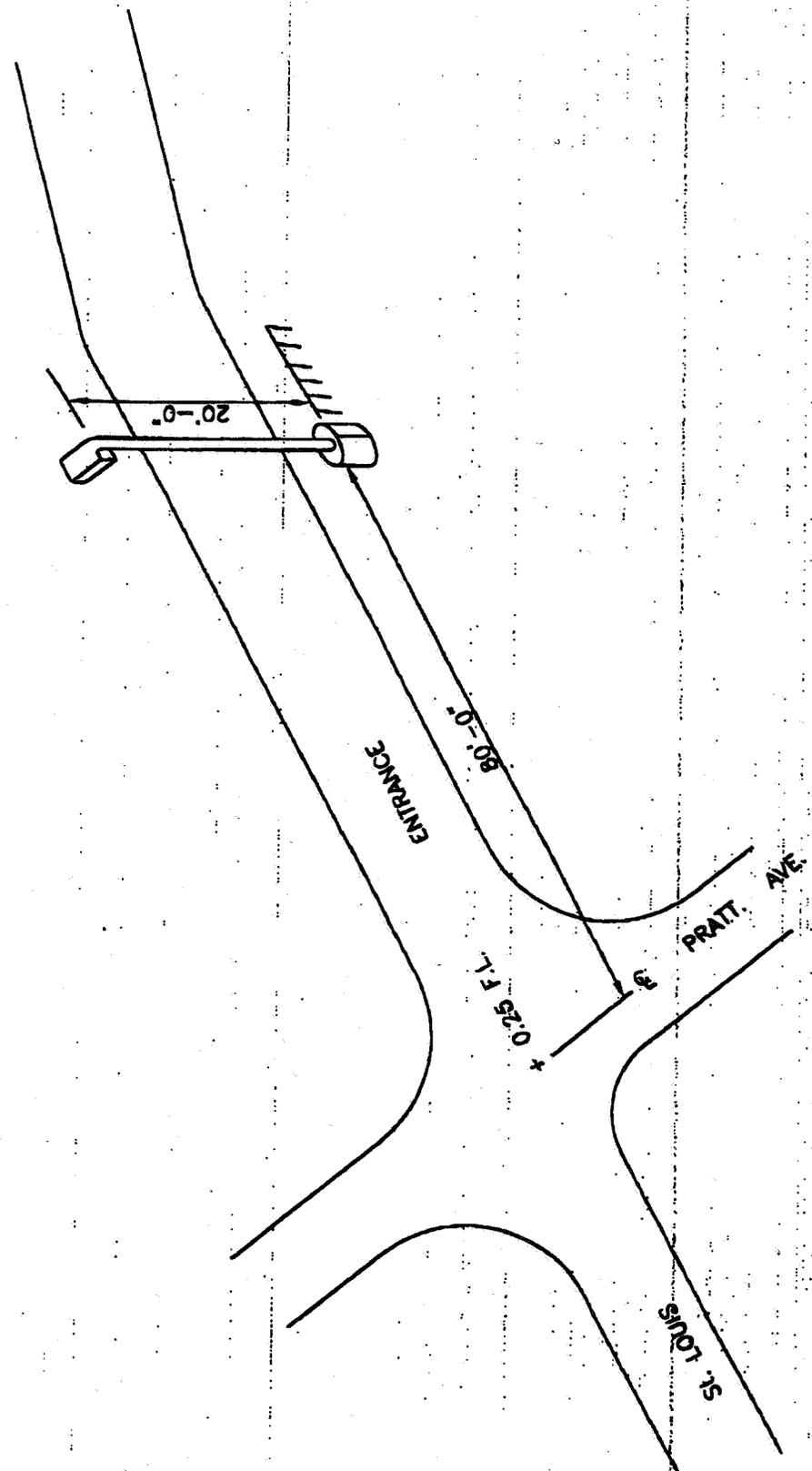
POLE ORDERING

Refer to Pole/Brackets Section for ordering information.

SPAUDING LIGHTING, INC.

1725 Canton Avenue, Cleveland, Ohio 44115 (216) 541-9400

1



BELL + HOWELL FACILITY (PERSPECTIVE)

STREET SIDE ENTRANCE LIGHTING AT 20' POLE HEIGHT

COWHEY GUDMUNDSON LEDER, LTD.

300 Park Boulevard Suite 350

Itasca, IL 60143

(630) 250-9595

Detention Calculator

Modified Rational Method

Village of Lincolnwood 100 year storm intensities								
Job Name:		LINCOLNWOOD CENTER						
Basin Description:		SOUTHEAST BASIN						
Designer:		HJL						
						Area of site in acres:	6.40	
						Trapped water area in acres:	0.00	
						Net area for release computation in acres:	6.40	
DURATION	TIME	100 YR. INT.	INFLOW RATE	STORED RATE	VOLUME			
(HOURS)	(MIN)	(IN/HR)	(CFS)	(CFS)	(ACRE-FT)			
0.50	30	5.14	27.30	26.34	1.10	Allowable release rate per acre in CFS:	0.15	
0.67	40	4.29	22.79	21.83	1.21	Allowable release rate in CFS:	0.96	
0.83	50	3.75	19.92	18.96	1.32	Unrestricted release rate in CFS:	0.00	
1.00	60	3.27	17.37	16.41	1.37	Bypass release rate in CFS:	0.00	
1.50	90	2.52	13.39	12.43	1.55	Total allowable release in CFS:	0.96	
2.00	120	2.05	10.89	9.93	1.65	Developed runoff coefficient:	0.83	
3.00	180	1.48	7.86	6.90	1.73			
4.00	240	1.19	6.32	5.36	1.79			
5.00	300	1.00	5.31	4.35	1.81	Maximum volume in Acre-Ft =	1.83	
6.00	360	0.87	4.62	3.66	1.83	<====		
7.00	420	0.77	4.09	3.13	1.83			
8.00	480	0.69	3.67	2.71	1.80			
9.00	540	0.63	3.35	2.39	1.79			
10.00	600	0.58	3.08	2.12	1.77			
11.00	660	0.54	2.87	1.91	1.75			
12.00	720	0.50	2.66	1.70	1.70			
13.00	780	0.49	2.60	1.64	1.78			
14.00	840	0.47	2.50	1.54	1.79			
15.00	900	0.44	2.34	1.38	1.72			
16.00	960	0.40	2.12	1.16	1.55			
17.00	1020	0.38	2.02	1.06	1.50			
18.00	1080	0.36	1.91	0.95	1.43			
19.00	1140	0.35	1.86	0.90	1.42			
20.00	1200	0.33	1.75	0.79	1.32			
21.00	1260	0.32	1.70	0.74	1.29			
22.00	1320	0.31	1.65	0.69	1.26			
23.00	1380	0.30	1.59	0.63	1.21			
24.00	1440	0.29	1.54	0.58	1.16			

	% of site	"C" Factor	Composite "C"
Impervious Area	80.00	0.95	0.76
Pervious Area	20.00	0.35	0.07
Total :	100.00		0.83

COWHEY GUDMUNDSON LEDER, LTD.

300 Park Boulevard Suite 350

Itasca, IL 60143

(630) 250-9595

Detention Calculator

Modified Rational Method

Village of Lincolnwood 100 year storm intensities								
Job Name:		LINCOLNWOOD CENTER						
Basin Description:		NORTHEAST BASIN						
Designer:		HJL						
							Area of site in acres:	1.00
DURATION	TIME	100 YR. INT	INFLOW RATE	STORED RATE	VOLUME		Trapped water area in acres:	0.00
(HOURS)	(MIN)	(IN/HR)	(CFS)	(CFS)	(ACRE-FT)		Net area for release computation in acres:	1.00
0.50	30	5.14	3.34	3.19	0.13		Allowable release rate per acre in CFS:	0.15
0.67	40	4.29	2.79	2.64	0.15		Allowable release rate in CFS:	0.15
0.83	50	3.75	2.44	2.29	0.16		Unrestricted release rate in CFS:	0.00
1.00	60	3.27	2.13	1.98	0.16		Bypass release rate in CFS:	0.00
1.50	90	2.52	1.64	1.49	0.19		Total allowable release in CFS:	0.15
2.00	120	2.05	1.33	1.18	0.20		Developed runoff coefficient:	0.65
3.00	180	1.48	0.96	0.81	0.20			
4.00	240	1.19	0.77	0.62	0.21			
5.00	300	1.00	0.65	0.50	0.21	<	Maximum volume in Acre-Ft =	0.21
6.00	360	0.87	0.57	0.42	0.21			
7.00	420	0.77	0.50	0.35	0.20			
8.00	480	0.69	0.45	0.30	0.20			
9.00	540	0.63	0.41	0.26	0.19			
10.00	600	0.58	0.38	0.23	0.19			
11.00	660	0.54	0.35	0.20	0.18			
12.00	720	0.50	0.33	0.18	0.18			
13.00	780	0.49	0.32	0.17	0.18			
14.00	840	0.47	0.31	0.16	0.18			
15.00	900	0.44	0.29	0.14	0.17			
16.00	960	0.40	0.26	0.11	0.15			
17.00	1020	0.38	0.25	0.10	0.14			
18.00	1080	0.36	0.23	0.08	0.13			
19.00	1140	0.35	0.23	0.08	0.12			
20.00	1200	0.33	0.21	0.06	0.11			
21.00	1260	0.32	0.21	0.06	0.10			
22.00	1320	0.31	0.20	0.05	0.09			
23.00	1380	0.30	0.20	0.05	0.09			
24.00	1440	0.29	0.19	0.04	0.08			

	% of site	"C" Factor	Composite "C"
Impervious Area	50.00	0.95	0.48
Pervious Area	50.00	0.35	0.18
Total ::	100.00		0.65

COWHEY GUDMUNDSON LEDER, LTD.

300 Park Boulevard Suite 350

Itasca, IL 60143

(630) 250-9595

Detention Calculator
Modified Rational Method

Village of Lincolnwood 100year storm intensities						
Job Name:		BELL & HOWELL FACILITY				
Basin Description:		SOUTHWEST BASIN				
Designer:		HJL				
DURATION	TIME	100 YR. INT.	INFLOW RATE	STORED RATE	VOLUME	Area of site in acres: 11.50
(HOURS)	(MIN)	(IN/HR)	(CFS)	(CFS)	(ACRE-FT)	Trapped water area in acres: 0.00
0.50	30	5.14	49.06	47.92	2.00	Net area for release computation in acres: 11.50
0.67	40	4.29	40.95	39.81	2.21	Allowable release rate in CFS: 1.14
0.83	50	3.75	35.79	34.65	2.41	Unrestricted release rate in CFS: 0.00
1.00	60	3.27	31.21	30.07	2.51	Bypass release rate in CFS: 0.00
1.50	90	2.52	24.05	22.91	2.86	Total allowable release in CFS: 1.14
2.00	120	2.05	19.57	18.43	3.07	Developed runoff coefficient: 0.83
3.00	180	1.48	14.13	12.99	3.25	
4.00	240	1.19	11.36	10.22	3.41	
5.00	300	1.00	9.55	8.41	3.50	Maximum volume in Acre-Ft = 3.90
6.00	360	0.87	8.30	7.16	3.58	
7.00	420	0.77	7.35	6.21	3.62	
8.00	480	0.69	6.59	5.45	3.63	
9.00	540	0.63	6.01	4.87	3.66	
10.00	600	0.58	5.54	4.40	3.66	
11.00	660	0.54	5.15	4.01	3.68	
12.00	720	0.50	4.77	3.63	3.63	
13.00	780	0.49	4.68	3.54	3.83	
14.00	840	0.47	4.49	3.35	3.90	<===
15.00	900	0.44	4.20	3.06	3.82	
16.00	960	0.40	3.82	2.68	3.57	
17.00	1020	0.38	3.63	2.49	3.52	
18.00	1080	0.36	3.44	2.30	3.44	
19.00	1140	0.35	3.34	2.20	3.48	
20.00	1200	0.33	3.15	2.01	3.35	
21.00	1260	0.32	3.05	1.91	3.35	
22.00	1320	0.31	2.96	1.82	3.33	
23.00	1380	0.30	2.86	1.72	3.30	
24.00	1440	0.29	2.77	1.63	3.26	

	% of site	"C" Factor	Composite "C"
Impervious Area	80.00	0.95	0.76
Pervious Area	20.00	0.35	0.07
Total :	100.00		0.83

COWHEY GUDMUNDSON LEDER, LTD.

300 Park Boulevard Suite 350

Itasca, IL 60143

(630) 250-9595

Detention Calculator
Modified Rational Method

Village of Lincolnwood 100 year storm intensities						
Job Name:		BELL & HOWELL FACILITY				
Basin Description:		NORTHWEST BASIN				
Designer:		HJL				
DURATION	TIME	100 YR. INT.	INFLOW RATE	STORED RATE	VOLUME	
(HOURS)	(MIN)	(IN/HR)	(CFS)	(CFS)	(ACRE-FT)	Area of site in acres: 1.40
0.50	30	5.14	4.81	4.01	0.17	Trapped water area in acres: 0.00
0.67	40	4.29	4.01	3.21	0.18	Net area for release computation in acres: 1.40
0.83	50	3.75	3.51	2.71	0.19	Allowable release rate in CFS: 0.80
1.00	60	3.27	3.06	2.26	0.19	Unrestricted release rate in CFS: 0.00
1.50	90	2.52	2.36	1.56	0.19	Bypass release rate in CFS: 0.00
2.00	120	2.05	1.92	1.12	0.19	Total allowable release in CFS: 0.80
3.00	180	1.48	1.38	0.58	0.15	Developed runoff coefficient: 0.67
4.00	240	1.19	1.11	0.31	0.10	
5.00	300	1.00	0.94	0.14	0.06	Maximum volume in Acre-Ft = 0.19
6.00	360	0.87	0.81	0.01	0.01	
7.00	420	0.77	0.72	-0.08	-0.05	
8.00	480	0.69	0.65	-0.15	-0.10	
9.00	540	0.63	0.59	-0.21	-0.16	
10.00	600	0.58	0.54	-0.26	-0.21	
11.00	660	0.54	0.51	-0.29	-0.27	
12.00	720	0.50	0.47	-0.33	-0.33	
13.00	780	0.49	0.46	-0.34	-0.37	
14.00	840	0.47	0.44	-0.36	-0.42	
15.00	900	0.44	0.41	-0.39	-0.49	
16.00	960	0.40	0.37	-0.43	-0.57	
17.00	1020	0.38	0.36	-0.44	-0.63	
18.00	1080	0.36	0.34	-0.46	-0.69	
19.00	1140	0.35	0.33	-0.47	-0.75	
20.00	1200	0.33	0.31	-0.49	-0.82	
21.00	1260	0.32	0.30	-0.50	-0.88	
22.00	1320	0.31	0.29	-0.51	-0.94	
23.00	1380	0.30	0.28	-0.52	-1.00	
24.00	1440	0.29	0.27	-0.53	-1.06	

	% of site	"C" Factor	Composite "C"
Impervious Area	53.00	0.95	0.50
Pervious Area	47.00	0.35	0.16
Total :	100.00		0.67

June 5, 2000

Mr. Jerry Sargent
Village of Lincolnwood
6900 Lincoln Avenue
Lincolnwood, Illinois 60712

Consulting Engineers
and Surveyors

Civil, Municipal, & Traffic

850 Forest Edge Drive
Vernon Hills, Illinois 60061
tel 847 478 9700 fax 847 478 9701

Re: Review Comments
Bell & Howell Redevelopment

Dear Mr. Sargent:

I have reviewed the engineering plans prepared for the Bell & Howell Redevelopment dated September 27, 1999, the storm water calculations dated August 10, 1999, and the storm water report dated September 30, 1999. I approve these plans and calculations subsequent to the following comments being incorporated into them.

These plans are in substantial conformance with good engineering design practices and the Village of Lincolnwood Ordinances with the following suggestions and changes.

Engineering Plans

1. Indicate the existing railroad track spur along the north property as being abandoned and removed.
2. Site demolition note #3 (on sheet C3 of C9) has minor spelling revisions. Please revise.
3. We are not sure what demolition note #4 (sheet C3) is referencing? We are not sure what lighting system along Jasper (?) needs to be upgraded or replaced? Please clarify note.
4. It is unclear what "properly graded" refers to in the site demolition note #7 (on sheet C3 of C9). Please explain in more detail.
5. The abandonment of the existing site utilities should be inspected and properly documented by the contractor. The contractor should provide 48 hours advance notification to public works (847-675-0888) prior to the abandonment of these utilities. Please include a plan note to this effect.
6. Indicate curb and gutter removal and replacement with depressed curb and gutter along Pratt Avenue. Include details and show ties with dowel bars into existing curb and gutter.
7. Where is the truck traffic route for the site and will the proposed driveways accommodate truck turning movements? Please provide Autoturn simulations of the on-site truck movements.
8. Is the existing sanitary sewer connection remaining or will it be relocated due to the proposed reconstruction? Has the facility's usage and projected sanitary flows been changed? Submit current and projected flows due to the reconstruction for review.

9. Sheet C2, note #20 for Underground Utilities shall specify a Mueller A-425 fire hydrant with two, 4 ½" steamer ports.
10. Sheet C7, note #4, fire hydrants shall be installed a minimum of three feet from the back of curb.
11. Sheet C8, the fire hydrant detail shall be revised to note two, 4 ½" steamer ports. The Mueller A-425 is the correct fire hydrant model.
12. Sheet C8, the casing pipe detail shall be revised to add the note that "the contractor shall blow sand into the casing pipe".
13. The grading of the "future" land banked area along the north face of the building is unclear. How is this area going to be drained in the ultimate condition? We recommend that a drainage structure be installed to capture all on-site storm water runoff.
14. Please identify the finished floor elevations and lowest opening elevations for the proposed Dominick's Building and the existing building to the west of the site on sheet #5.
15. Have IEPA, MWRD, and other applicable permits been received? Please forward copies of all permits to our office.

Stormwater Management

1. How is the "future" northern parking area draining? How is the 100 year overland flood route being accommodated in this area? There appears to be a problem with the elevation of the existing truck dock opening of the building. Explain how drainage will be accommodated for the 10 year and 100 year storm event.
2. The 100 year storm event shall be conveyed to the detention basins along the south property line. Clearly delineate where the site 100 year emergency overflow is located and that it is properly sized to accommodate the site's 100 year unrestricted inflow.
3. Indicate any temporary connections to the Pratt Avenue storm sewer as described in the Stormwater Management Report during phase I construction.

The engineering plans as prepared by Cowhey Gudmundson Leder, Ltd. (CGL), dated 9/27/99 contain no significant differences between the plans as prepared by Otis Koglin Wilson Architects (OKW), dated September 20, 1999. The plans by OKW were an exhibit to Ordinance No. Z99-051, which was approved by the Village Board. We also compared the engineering plans as prepared by CGL dated 9/27/99 to the engineering plans with revision #1, dated February 11, 2000.

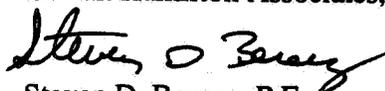
All revisions to the original engineering plans shall be clouded and the revision number(s) noted. Following is a list of the significant differences between the original engineering plan (9/27/99) and the revised engineering plan (2/11/200) as prepared by CGL.

September 27, 1999 Plans Compared to Revised Plans dated February 11, 2000

1. The revised plan shows a truck entrance to a loading dock at the northeast corner of the building. The original plan only showed a passenger car access at this location.
2. The revised plan specifies for 29 land banked parking stalls along the north face of the building. The original plan specified 44 land banked stalls.
3. The revised plan added a trash refuse and dumpster area at the northwest corner of the building.
4. The ultimate pavement / geometrics of the area along the north face of the building is not clearly defined. Is there a connection from the west to the east along the north face of the building, or will this only be built if the land banked parking is used. How is this area being drained?
5. The revised plan shows a 55' wide truck dock at the center of the west face of the building. The original plan showed a 110' wide truck dock at this location.
6. There are significant variations in the parking counts between the two plans. The original plan specifies a total of 546 spaces, with 44 land banked. The revised plan specifies a total of 544 parking spaces, with 29 land banked. The revised parking count totals may require the Planning and Zoning Board approval.
7. The final engineering plans for the future East-West Connector road are not completed. Some minor grading revisions may be required at both access points to the future roadway. Specifically, we are concerned about the elevation of the east access to the future roadway at the northeast corner of the building and how it relates to the ultimate overflow of the detention basin to the northeast of the site. The overflow from this basin could adversely affect the flood protection of this area. Please reevaluate the grading in this area.

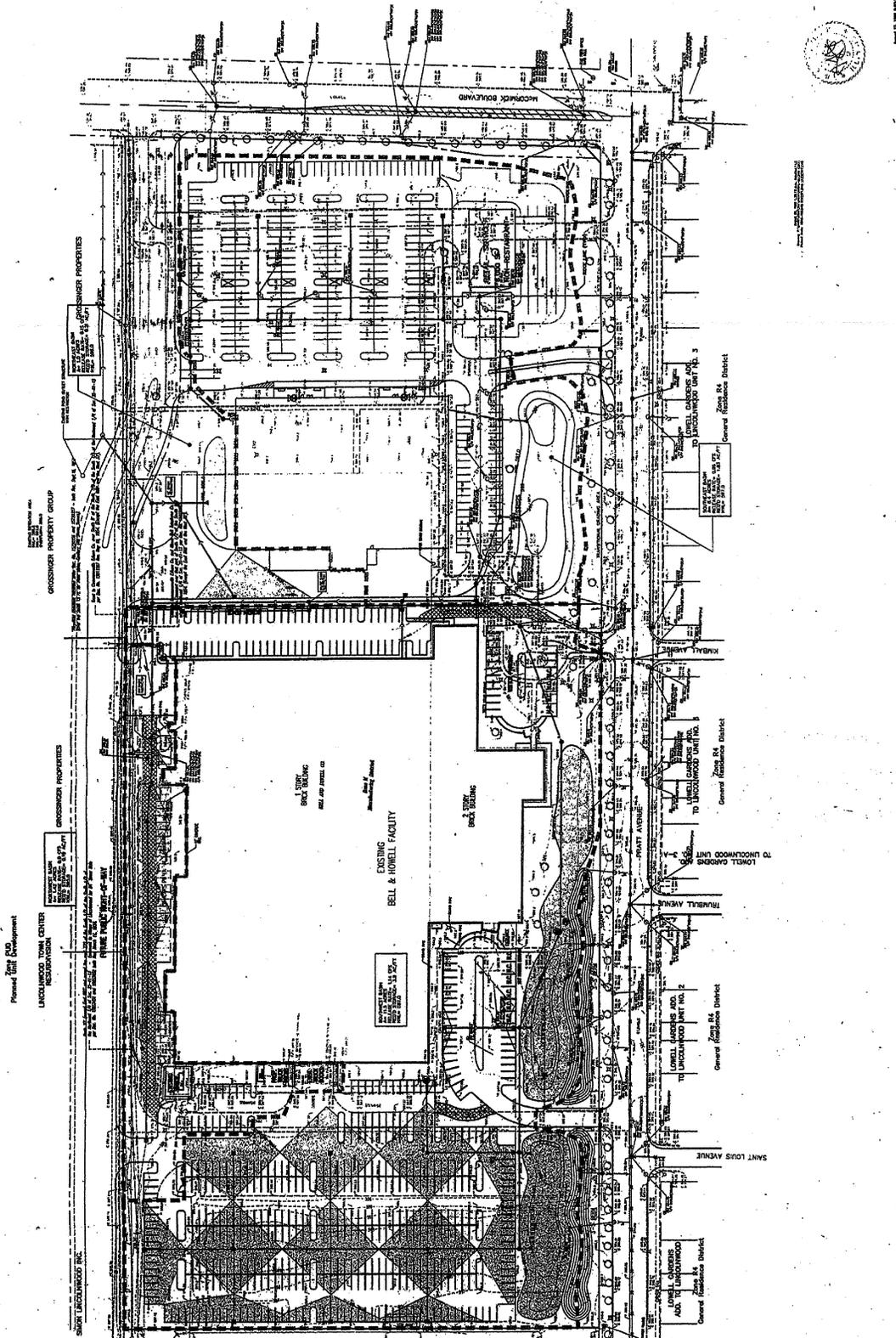
We will continue to review the plans in more detail, however, the comments listed above are the major changes to the project. As Village Engineer's, we retain the authority to make additional changes and comments to the plans as we see them during our further review.

Sincerely,
Gewalt Hamilton Associates, Inc.


Steven D. Berecz, P.E.
Village Engineer

Cc: Bob Bocwinski, Village of Lincolnwood
Hugh Loftus, Cowhey Gudmundson Leder, LTD.

REDUCED COPY



PROJECT NO.	2208	SHEET	1
DATE	8-11-59	SCALE	1" = 40'
DESIGNED BY	ML	DRAWN BY	ML
CHECKED BY	ML	DATE	8-11-59

DRAINAGE PLAN

BELL & HOWELL FACILITY
8800 N. MCCORMICK BLVD., LINCOLNWOOD

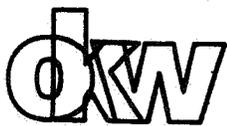
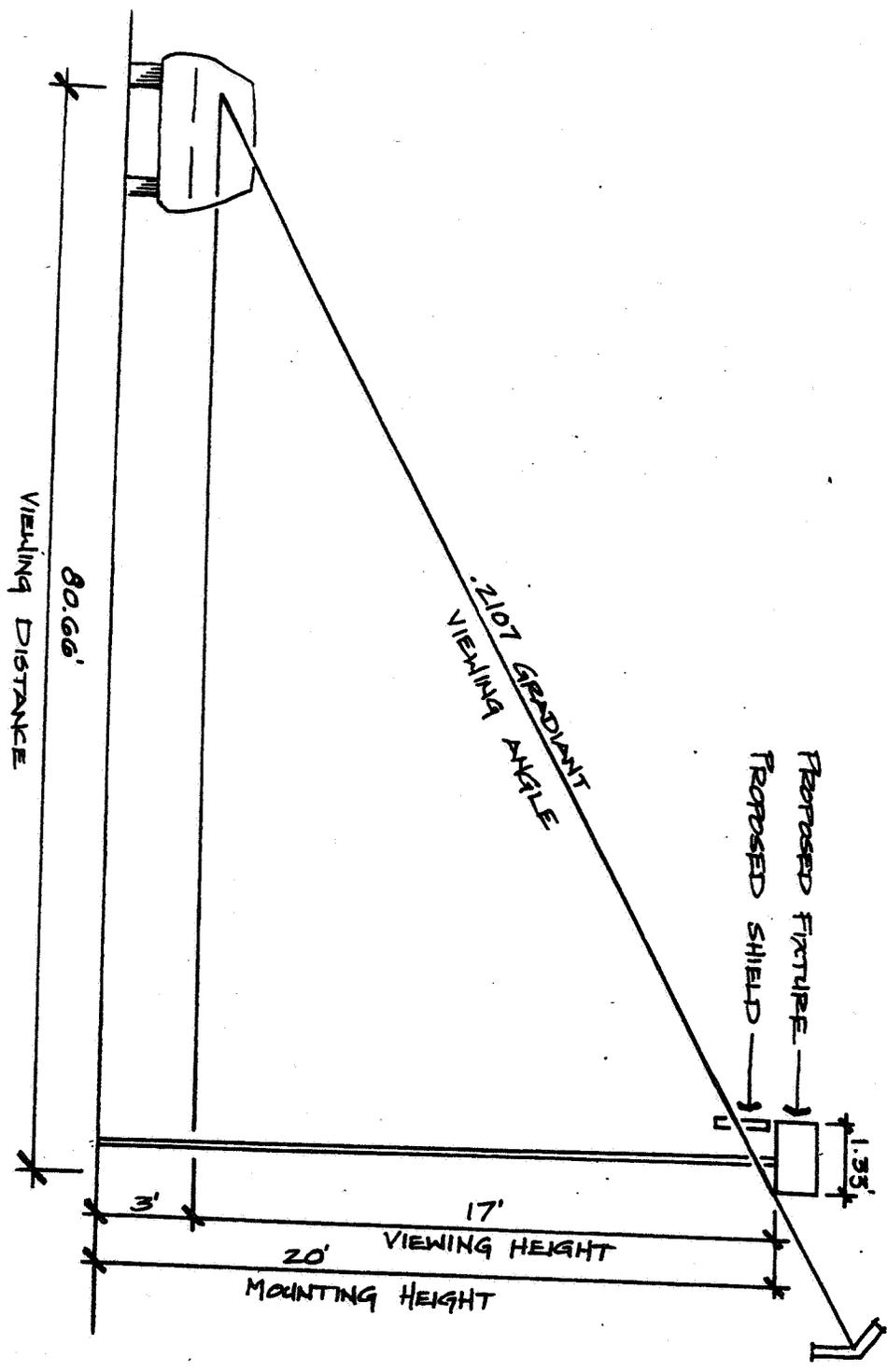
REVISIONS

NO.	DATE	DESCRIPTION

COWHEY GUDMUNDSON LEHR, LTD.
 500 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS. (830) 250-9595

$$\frac{17' \text{ VIEWING HEIGHT}}{80.66' \text{ VIEWING DISTANCE}} = .2107 m$$

$$\therefore 1.33' \text{ FIXTURE WIDTH} \times .2107 m = .28' \text{ SHIELD DEPTH (MIN.)}$$



Otis Koglin Wilson
Architects

185 MILWAUKEE AVE. LINCOLNSHIRE ILLINOIS 60090, T 847.478.9200 F 847.478.9211
30 WEST MONROE ST. CHICAGO ILLINOIS 60603, T 312.782.8863 F 312.704.8863

BELL & HOWELL FACILITY
LINCOLNWOOD, ILLINOIS
SITE LIGHTING ADAPTATION

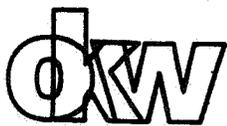
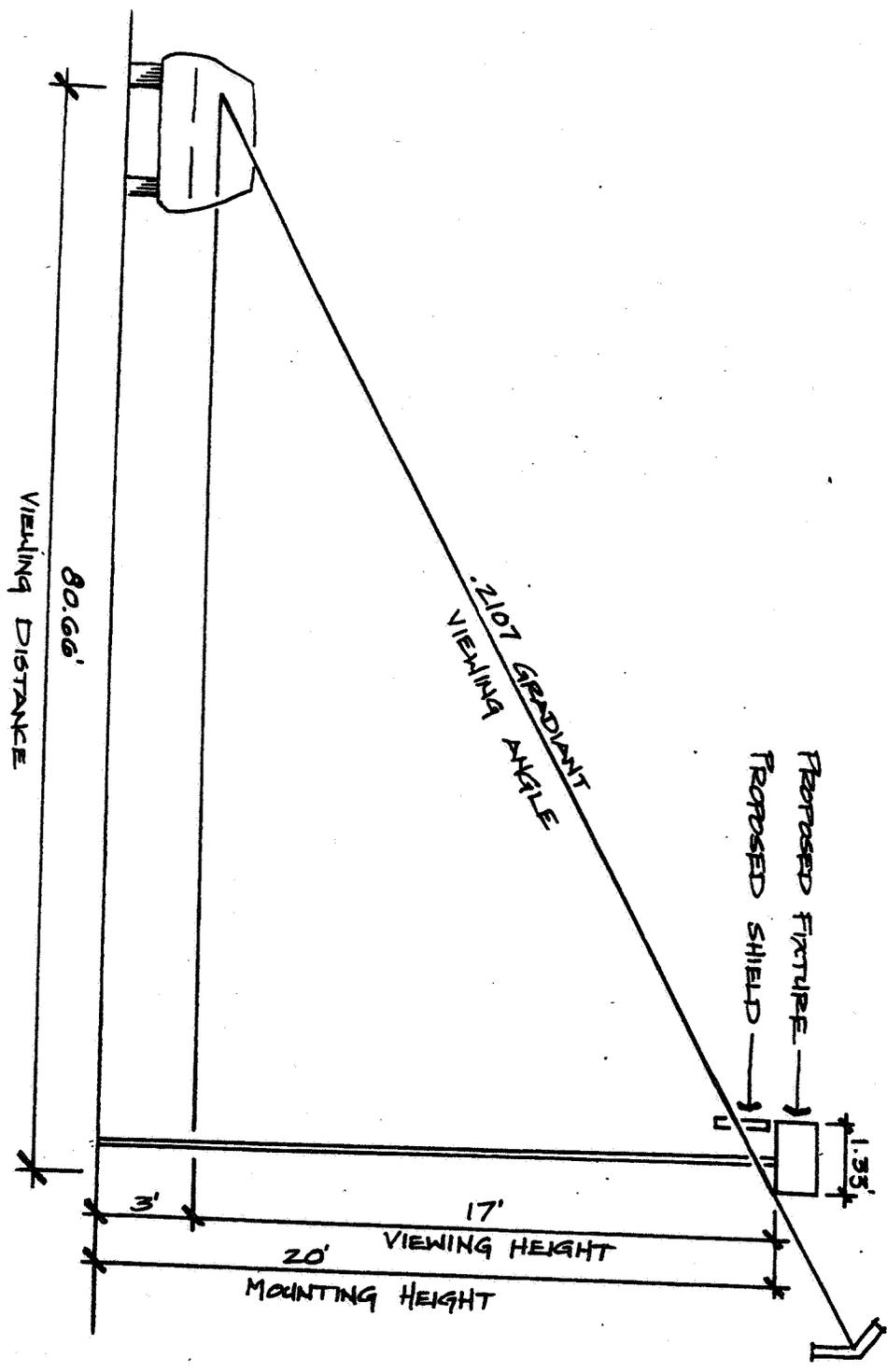
SHEET NO:
SK-4

DATE: 9-20-99 OAI JOB NO.: 98062

INITIALS: RTD

$$\frac{17' \text{ VIEWING HEIGHT}}{80.66' \text{ VIEWING DISTANCE}} = .2107 m$$

$$\therefore 1.33' \text{ FIXTURE WIDTH} \times .2107 m = .28' \text{ SHIELD DEPTH (MIN.)}$$



Otis Koglin Wilson
Architects

BELL & HOWELL FACILITY
LINCOLNWOOD, ILLINOIS
SITE LIGHTING ADAPTATION

SHEET NO:
SK-4

185 MILWAUKEE AVE. LINCOLNSHIRE ILLINOIS 60090, T 847.478.9200 F 847.478.9211
30 WEST MONROE ST. CHICAGO ILLINOIS 60603, T 312.782.8863 F 312.704.8863

DATE: 9-20-99 OAI JOB NO.: 98062

INITIALS: RTD

ENGINEERING IMPROVEMENT PLANS FOR

BELL & HOWELL REDEVELOPMENT

LINCOLNWOOD, ILLINOIS

PLANS PREPARED FOR

FCL BUILDERS, INC

1150 SPRING LAKE DRIVE
ITASCA, ILLINOIS 60143
(630) 773-0050

PLANS PREPARED BY

COWHEY GUDMUNDSON LEDER, LTD.
ITASCA, ILLINOIS

LEGEND table with columns for EXISTING and PROPOSED symbols and their corresponding descriptions like SANITARY MANHOLE, STORM MANHOLE, etc.

ABBREVIATIONS table listing symbols for BASE LINE, CURB AND GUTTER, DRIVE, etc.

INDEX OF SHEETS

- C-1. COVER SHEET
C-2. PROJECT NOTES & SPECIFICATIONS
C-3. DEMOLITION PLAN
C-4. DIMENSIONAL SITE PLAN
C-5. GRADING PLAN
C-6. SOIL EROSION CONTROL PLAN
C-7. UTILITY PLAN
C-8. CONSTRUCTION STANDARDS

GENERAL NOTES

- 1. THE VILLAGE OF LINCOLNWOOD ENGINEERING AND PUBLIC WORKS DEPARTMENTS...
2. THE ILLINOIS DEPARTMENT OF TRANSPORTATION PERMIT SECTION...
3. THE VILLAGE OF LINCOLNWOOD ENGINEERING AND PUBLIC WORKS DEPARTMENT...
4. ALL CONSTRUCTION INSTALLING PUBLIC IMPROVEMENTS...
5. ALL UTILITIES SHOWN SHALL BE LOCATED AND THEIR FACILITIES SHALL BE MAINTAINED...
6. ALL UTILITIES SHOWN SHALL BE LOCATED AND THEIR FACILITIES SHALL BE MAINTAINED...
7. ALL ELEVATIONS SHOWN HEREON REFER TO MEAN SEA LEVEL...
8. CONSTRUCTION SHALL BE ACCORDING TO THE SPECIFICATIONS...
9. THE VILLAGE OF LINCOLNWOOD ENGINEERING AND PUBLIC WORKS DEPARTMENT...
10. EXCEPT WHERE SHOWN OTHERWISE BY THE CONTRACT DOCUMENTS...
11. THE NATIONAL ELECTRIC CODE...

CONTACTS

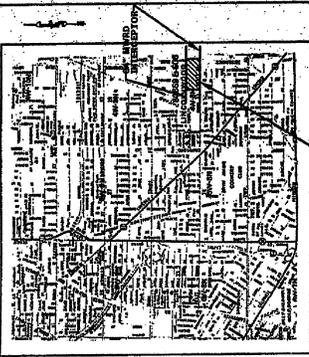
- VILLAGE OF LINCOLNWOOD
ILLINOIS DEPARTMENT OF TRANSPORTATION
STATE DEPARTMENT OF PUBLIC SAFETY
STATE DEPARTMENT OF REVENUE
STATE DEPARTMENT OF LAND AND NATURAL RESOURCES
STATE DEPARTMENT OF COMMERCE

RECEIVED

OCT 11 1998

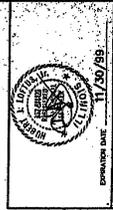
LINCOLNWOOD
BLOOD DEPT.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION



PROJECT LOCATION BENCHMARKS

- 1. BENCHMARK NO. 100 IS THE VALUE OF BENCHMARK...
2. BENCHMARK NO. 101 IS THE VALUE OF BENCHMARK...
3. BENCHMARK NO. 102 IS THE VALUE OF BENCHMARK...



PROJECT NO. 9227/98
DATE 10/27/98
SCALE NONE
DESIGNED BY NONE
DRAWN BY NONE
CHECKED BY NONE
DATE 11/29/98
Call 630 before 4:00 PM
1-800-892-0123

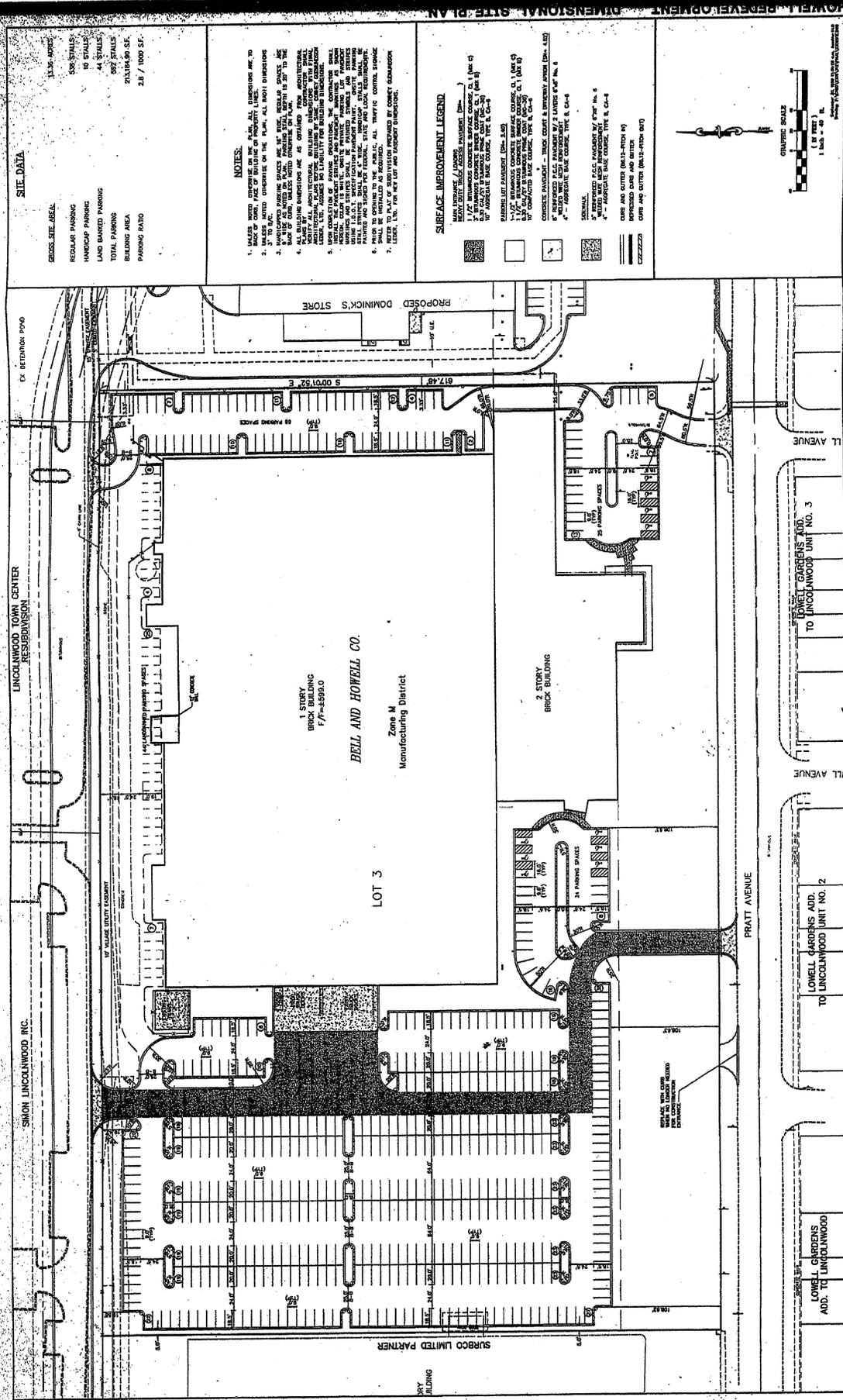
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800 PARK BOULEVARD
ITASCA, ILLINOIS 60143
CONSULTING ENGINEERS (630) 250-9595

BELL & HOWELL REDEVELOPMENT
LINCOLNWOOD, ILLINOIS
COVER SHEET

BELL & HOWELL REDEVELOPMENT
LINCOLNWOOD, ILLINOIS

REVISIONS table with columns for NO., DESCRIPTION, and DATE.

COWHEY GUDMUNDSON LEDER, LTD.
800 PARK BOULEVARD
ITASCA, ILLINOIS 60143
CONSULTING ENGINEERS (630) 250-9595



SITE DATA

GROSS SITE AREA: 113,364 SQ. FT.

REGULAR PARKING: 10 STALLS

HANDICAP PARKING: 44 STALLS

LAND BANKED PARKING: 800 STALLS

TOTAL PARKING: 954 STALLS

BUILDING AREA: 281,700 SQ. FT.

PARKING RATIO: 2.8 / 1000 SF.

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
3. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
4. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
5. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
6. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
7. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
8. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
9. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.
10. TO BE CONFORMED TO ALL APPLICABLE ORDINANCES AND REGULATIONS.

SURFACE IMPROVEMENT LEGEND

1. ASPHALT DRIVEWAYS AND SIDEWALKS (CONCRETE)

2. ASPHALT DRIVEWAYS AND SIDEWALKS (ASPHALT)

3. ASPHALT DRIVEWAYS AND SIDEWALKS (GRAVEL)

4. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4)

5. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-1)

6. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-2)

7. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-3)

8. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-4)

9. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-5)

10. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-6)

11. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-7)

12. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-8)

13. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-9)

14. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-10)

15. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-11)

16. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-12)

17. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-13)

18. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-14)

19. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-15)

20. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-16)

21. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-17)

22. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-18)

23. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-19)

24. ASPHALT DRIVEWAYS AND SIDEWALKS (C-4-20)

PROJECT NO. 2309

DATE 9/27/99

SCALE 1"=40'

DESIGNED BY BHA

CHECKED BY JHL

SHEET C-4

C-9

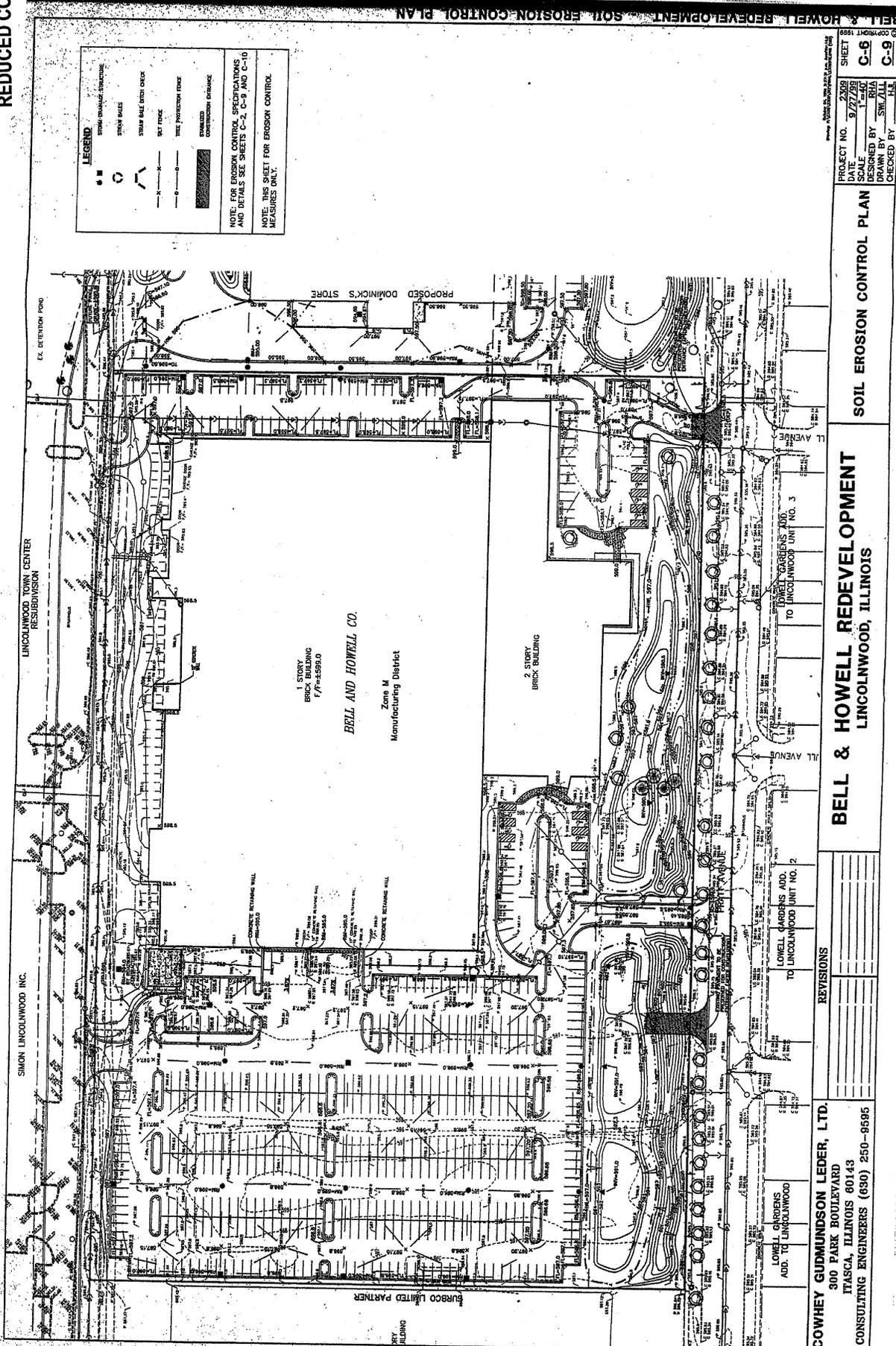
DIMENSIONAL SITE PLAN

BELL & HOWELL REDEVELOPMENT
LINCOLNWOOD, ILLINOIS

REVISIONS

NO.	DATE	DESCRIPTION
1		LOWELL GARDENS ADD. TO LINCOLNWOOD UNIT NO. 2
2		LOWELL GARDENS ADD. TO LINCOLNWOOD UNIT NO. 3

COWHEY GUDMUNDSON LEDER, LTD.
300 PARK BOULEVARD
ITASCAR, ILLINOIS 60143
CONSULTING ENGINEERS (830) 250-9595



LEGEND

- STONE CHANNEL STRUCTURE
- STONE BALES
- STONE BALE WITH CHECK
- SILT FENCE
- TREE PROTECTION FENCE
- GRAVEL DETENTION DRAINAGE
- GRAVEL DETENTION DRAINAGE

NOTE: FOR EROSION CONTROL SPECIFICATIONS AND DETAILS SEE SHEETS C-2, C-9 AND C-10

NOTE: THIS SHEET FOR EROSION CONTROL MEASURES ONLY.

PROJECT NO. 2308
 DATE 9/27/88
 SCALE 1"=40'
 SHEET C-6
 DESIGNED BY BHA
 DRAWN BY SWJ/ILL
 CHECKED BY HLE

SOIL EROSION CONTROL PLAN

BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS

REVISIONS

NO.	DESCRIPTION

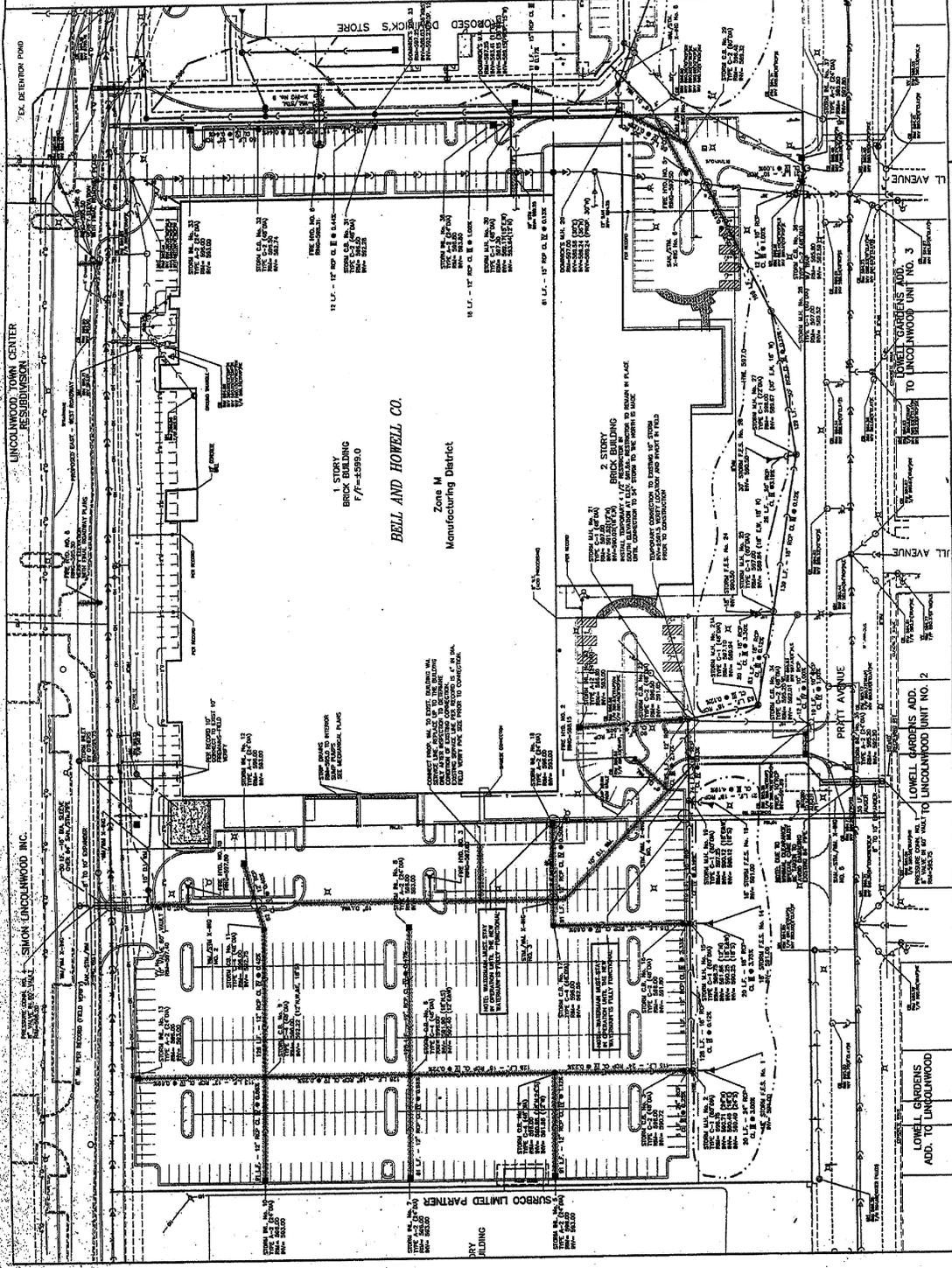
COWHEY GUMUNDSON LEDER, LTD.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (630) 250-0595

- UTILITY NOTES:**
1. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. ALL UTILITIES TO BE CONVEYED THROUGH EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 2.0 FEET AND EXTENDING A MINIMUM OF 1.0 FEET FROM THE CENTERLINE OF THE EXISTING UTILITY.
 2. ALL UTILITIES TO BE CONVEYED THROUGH EXISTING UTILITIES SHALL BE PROTECTED BY A MINIMUM OF 2.0 FEET AND EXTENDING A MINIMUM OF 1.0 FEET FROM THE CENTERLINE OF THE EXISTING UTILITY.
 3. ALL UTILITIES SHALL BE 6" IN DIAMETER UNLESS OTHERWISE NOTED.
 4. FIRE HYDRANTS SHALL BE 2.0 FEET MINIMUM OF 2.0 FEET AND A MINIMUM OF 1.0 FEET FROM THE CURB.

UTILITY CROSSINGS:

CONNECTION	PIPE SIZE	MATERIAL	UTILITY	DEPTH OF UTILITY	DEPTH OF CONNECTION	MIN. CLEARANCE
1.	8"	RCP	SAW/STM	599.00	599.00	0.80'
2.	10"	DIP	WM	592.08	591.18	1.5' MIN
3.	12"	RCP	STM	592.50	591.00	1.5' MIN
4.	10"	DIP	WM	588.79	588.39	1.5' MIN
5.	8"	RCP	SAW/STM	599.10	588.91	0.18'
6.	30"	RCP	STM	599.07	586.89	2.21'
7.	30"	RCP	STM	599.00	597.50	1.5' MIN
8.	8"	DIP	WM	599.40	597.40	1.5' MIN
9.	8"	RCP	STM	598.76	597.26	1.5' MIN

* COORDINATE WITH INSTALLATION OF WATERMAIN ON DOMINICK'S SITE. CONNECT TO 6" STUB AT PROPERTY LINE.



PROJECT NO. 2509
 SHEET 9/27/88 C-7
 DESIGNED BY BHA
 DRAWN BY SW/ALL C-9
 CHECKED BY HHL

BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS

UTILITY PLAN

REVISIONS

NO.	DESCRIPTION

COWHEY GUDMUNDSON LEDER, L.T.D.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (630) 250-8595

EXHIBIT E
NOTICE OF PUBLIC HEARING



EXHIBIT E

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Plan Commission and Zoning Board of Appeals of the Village of Lincolnwood, Cook County, Illinois on the 8th day of September, 1999, at the hour of 7:30 p.m. in the Lincolnwood Village Hall, 6900 Lincoln Avenue, Lincolnwood, Illinois for the purpose of considering the following:

1. Request by Owner, Viorika Turika, for Zoning Variation in an R-3 Single Family Residence District under Article VII, Section F, paragraph 4 a., (A detached accessory building shall not be nearer than 15 feet from the nearest wall of the principal building) of the Village of Lincolnwood Zoning Ordinance for the purpose of constructing a detached garage. The variation is required because the proposed garage would be 4 ft. 8 in. from the principal building. Legal Description: The North $\frac{1}{2}$ of Lot 25 and Lot 26 in Block 2 in Engel and Becker's Kenilworth Avenue Subdivision of the South 20 Acres of the North 30 Acres of the Northwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 35, Township 41 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois, commonly known as 7069 North Crawford Avenue.
2. Request by Owner and Petitioner, Ernesto and Lucy Sahagun, for Zoning Variation in an R-1 Single Family Residence District under Article VII, Section H, paragraph 3. j., (Permitted Obstructions in Rear Yards: Open fences or walls not more than 4') and paragraph 3. k., (No solid fences or walls) of the Village of Lincolnwood Zoning Ordinance for the purpose of erecting a 6' solid fence along the north and south property lines in the rear yard of the subject property. Legal Description: Lot 6 (except the Northerly 20 feet thereof), the Northerly 20 feet of Lot 7, All in Block 3 in North Edgebrook, Being a Subdivision of Part of the Southwest Fractional $\frac{1}{4}$ of Section 33, Township 41 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois, According to the Plat thereof Filed in the Office of the Recorder of Titles on January 31, 1931 as Document No. 534354 in Cook County, Illinois commonly referred to as 6737 North Central Avenue.
3. Request by Owner and Petitioner, Jose and Norma Moreno, for a Zoning Variation in an R-2 Single Family Residence District under Article VII, Section H, paragraph 3. j., (Permitted Obstructions in Rear Yards: Open fences or walls not more than 4') and paragraph 3. k., (No solid fences or walls) of the Village of Lincolnwood Zoning Ordinance for the purpose of maintaining a 6' solid fence along the east and west property lines in the rear yard of the subject property. Legal Description: The West $\frac{1}{2}$ of Lot 19 and all of Lot 20 in Block 1 in Cicero Avenue Terrace, a Subdivision of the Northeast $\frac{1}{4}$ of Section 33, Township 41 North, Range 13 East of the Third Principal Meridian, in Cook County, Illinois commonly known as 4842 West Coyle Avenue.
4. Request by Petitioner, CenterPoint Properties Trust, on behalf of Owner, Bell & Howell Document Management Products Company, for a Parking Variation in a M Manufacturing District under Article XI, Section F, Paragraph 10. d. (5), (9), (12) and Ordinance 99-2450, Section 4.21 and 4.22. The Variation is required because the Ordinance requires 587 parking spaces where only approximately 523 parking spaces are needed. Legal Description: A parcel of Land in the Northeast $\frac{1}{4}$ of Section 35, Township 14 North, Range 13, East of the Third Principal Meridian, Bounded and Described as follows: Commencing at the Point of Intersection of a Line 40 Feet North of and Parallel with the South Line of the Northeast $\frac{1}{4}$ of Said Section 35

(Being also the North Right-of-Way Line of Pratt Avenue) and the West Line of the East 660 Feet of the Northeast $\frac{1}{4}$ of Said Section 35, Thence South 88 Degrees 07 minutes 30 seconds West along said Line 40 feet North of and Parallel with the South Line of the Northeast $\frac{1}{4}$ of Said Section 35, a Distance of 1,533.97 feet to a Point 400 Feet East (as Measured along said parallel line) of a Line 83 Feet East of the West Line of the Northeast $\frac{1}{4}$ of Said section 35 for a Point of Beginning; thence North 01 degrees 52 minutes 30 seconds West, a Distance of 618.23 Feet to the South Line of the North Half of the South Half of Said Northeast Quarter; Thence North 88 Degrees 10 Minutes 15 Seconds east along said south line, a Distance of 941.92 Feet; Thence South 01 Degrees 54 minutes 22 seconds East, a Distance of 617.48 Feet to the North Right-of-Way Line of Said Pratt Road; Thence South 88 Degrees 07 minutes 30 Seconds West Along Said North Right-of-Way Line, a Distance of 941.95 Feet to the Point of Beginning containing 13.36 Acres More or Less, in Cook County, Illinois commonly referred to as 3400 and 3450 West Pratt Avenue.

5. Request by Petitioner, TDC Lincolnwood LLC c/o Tucker Development, for approval of a Final Plat under Article XIV, Section D, paragraph 4, (Planned Unit Development - Final Plat Procedure) of the Lincolnwood Zoning Ordinance for the purpose of constructing a 62,000 sq. ft. Dominick's Supermarket and a separate 6,000 sq. ft. for building a retail or service business. Legal Description: A Parcel of Land in the Northeast $\frac{1}{4}$ of Section 35, Township 14, North, Range 13, East of the Third Principal Meridian, Bounded and Described as Follows: Beginning at the Point of Intersection of a Line 40 feet North of and Parallel with the South Line of the Northeast $\frac{1}{4}$ of Said Section 35 and the West Line of the East 660 feet of the Northeast $\frac{1}{4}$ of said Section 35, thence South 88 degrees, 07 minutes, 30 seconds West along said Line 40 feet North of and Parallel with the South Line of the Northeast $\frac{1}{4}$ of Said Section 35 a distance of 1,533.97 feet to a point 400 feet East (as measured along Said Parallel Line) of a Line 33 feet East of the West Line of the Northeast $\frac{1}{4}$ of Said Section 35; thence North 01 degrees, 10 minutes, 45 seconds East along the South Line of the North $\frac{1}{2}$ of the South $\frac{1}{2}$ of the Northeast $\frac{1}{4}$ of Said Section 35 a distance of 1,553.68 feet to a point on the West Line of the East 660 feet of the Northeast $\frac{1}{4}$ of Said Section 35; thence South 00 degrees, 03 minutes, 41 seconds East along the West Line of the East 660 feet of the Northeast $\frac{1}{4}$ of Said Section 35, a distance of 616.68 feet to the point of beginning, in Cook County, Illinois. Excepting therefrom the following described parcel of land: That Part of the Northeast $\frac{1}{4}$ of Section 35, Township 41 North, Range 13, East of the Third Principal Meridian, in Cook County, Illinois, described as follows: Commencing at the Southeast corner of Said Northeast $\frac{1}{4}$; thence Westerly on an assumed bearing of South 88 degrees, 40 minutes, 43 seconds West on the South Line of Said Northeast $\frac{1}{4}$ 660.33 feet to the West Line of the East 660 of Said Northeast $\frac{1}{4}$; thence North 00 degrees, 28 minutes, 33 seconds East of Said West Line 40.02 feet to the North Line of the South 40 feet of said Northeast $\frac{1}{4}$ and to the point of beginning; thence continuing North 00 degrees, 28 minutes, 33 seconds East on Said West Line 20 feet to a $\frac{5}{8}$ inch rebar with a allied cap stamped "State of Illinois Division of Highways Right of Way Corner RL8 2377"; thence South 44 degrees, 34 minutes, 38 seconds West 28.72 feet to a $\frac{5}{8}$ inch rebar with an allied cap stamped "State of Illinois Division of Highways Right of Way Corner RLS 2377" and to a point on the North Line of the South 40 feet of Said Northwest $\frac{1}{4}$ 20 feet West of Said point of beginning, as measured on said North Line; thence North 88 degrees, 40 minutes, 43 seconds East on Said North Line; thence North 88 degrees, 40 minutes, 43 seconds East on Said North Line 20 feet to the Point of Beginning, in Cook County, Illinois, commonly known as 6810 North McCormick Boulevard.

All persons interested in the foregoing matters are requested to appear at said Public Hearing and will be given an opportunity to be heard.

Paul Eisterhold, Chairman
PLAN COMMISSION AND ZONING BOARD OF APPEALS
VILLAGE OF LINCOLNWOOD

DATED: 8/16/99

PUBLISHED: LINCOLNWOOD LIFE

ON: 8/19/99

ENGINEERING IMPROVEMENT PLANS
FOR

BELL & HOWELL REDEVELOPMENT

LINCOLNWOOD, ILLINOIS

PLANS PREPARED
FOR
FCL BUILDERS, INC

1150 SPRING LAKE DRIVE
ITASCA, ILLINOIS 60143
(630) 773-0050

PLANS PREPARED
BY

COWHEY GUDMUNDSON LEDER, LTD.
ITASCA, ILLINOIS

COWHEY GUDMUNDSON LEDER, LTD.
CONSULTING ENGINEERS
LIMITATION OF WARRANTY OF ENGINEER'S
INSTRUMENTS OF SERVICE

THE ENGINEER AND HIS CONSULTANTS DO NOT
WARRANT OR GUARANTEE THE ACCURACY AND
COMPLETENESS OF THE INFORMATION HEREIN
BEYOND A REASONABLE DUBIAGE. IF ANY
MISTAKE, OMISSION, OR DEFICIENCY ARE
FOUND TO EXIST WITHIN THE DOCUMENTS,
THE ENGINEER SHALL BE PROMPTLY ADVISED
SO THAT THE PARTY MAY HAVE THE OPPORTUNITY
TO TAKE WHATEVER STEPS NECESSARY TO
RESOLVE THE MATTER. TO PROMPTLY NOTIFY
THE ENGINEER OF SUCH CONDITIONS SHALL
RESOLVE THE ENGINEER WITH AN ACKNOWLEDGE
FOR THE CONSEQUENCES OF SUCH FAILURES
ACTION TAKEN WITHOUT THE ENGINEER'S AND
CONSENT TO THE ENGINEER, OR IN CONNECTION
TO THE ENGINEER'S NEGLIGENCE OR
RECOMMENDATIONS, SHALL BECOME THE
RESPONSIBILITY NOT OF THE ENGINEER, BUT
OF THE PARTIES RESPONSIBLE FOR TAKING
SUCH ACTION.

LEGEND

	EXISTING	PROPOSED
SANITARY MANHOLE	⊙	⊙
STORM MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
PRECAST FLARED END SECTION	▷	▷
CONCRETE HEADWALL	▷	▷
VALVE VAULT	⊙	⊙
VALVE BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
BUFFALO BOX	⊙	⊙
CLEANOUT	⊙	⊙
CONSTRUCT WATERMAIN UNDER SEWER	—	—
SANITARY SEWER	—	—
FORCEMAIN	—	—
STORM SEWER	—	—
WATERMAIN	—	—
GRANULAR TRENCH BACKFILL	—	—
STREET LIGHT	—	—
STREET LIGHT	—	—
ELECTRICAL CABLE	—	—
2" CONDUIT ENCASMENT	—	—
ELECTRICAL TRANSFORMER OR PEDESTAL	—	—
CONTOUR	740	750
SPOT ELEVATION	X(750.00)	X(750.00)
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	—	—
OVERFLOW RELIEF ROUTING	—	—
SLOPE BANK	—	—
TREE WITH TRUNK SIZE	—	—
POWER POLE	—	—
STREET SIGN	—	—
DITCH OR SWALE	—	—
GAS MARK WITH SIZE	—	—
TELEPHONE LINE	—	—
COMMONWEALTH EDISON LINE	—	—
FENCE LINE	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
SOIL BORING	—	—
TOPSOIL PROBE	—	—
EASEMENT LINE	—	—

INDEX OF SHEETS

- C-1. COVER SHEET
- C-2. PROJECT NOTES & SPECIFICATIONS
- C-3. DEMOLITION PLAN
- C-4. DIMENSIONAL SITE PLAN
- C-5. GRADING PLAN
- C-6. SOIL EROSION CONTROL PLAN
- C-7. UTILITY PLAN
- C-8. CONSTRUCTION STANDARDS
- C-9. CONSTRUCTION STANDARDS

GENERAL NOTES

1. THE VILLAGE OF LINCOLNWOOD ENGINEERING AND PUBLIC WORKS DEPARTMENTS SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. (847-873-1540)
2. THE ILLINOIS DEPARTMENT OF TRANSPORTATION PERMIT SECTION SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION WITHIN THE STATE RIGHT-OF-WAY OF MCCORMICK BLVD. (847-262-4131)
3. THE METROPOLITAN WATER RECLAMATION DISTRICT SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF SEWER CONSTRUCTION. (708-582-4053)
4. ALL CONTRACTORS INSTALLING PUBLIC IMPROVEMENTS IN THE VILLAGE OF LINCOLNWOOD SHALL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION MEETING WITH THE VILLAGE OF LINCOLNWOOD ENGINEERING AND PUBLIC WORKS DEPARTMENT PRIOR TO BEGINNING WORK.
5. ALL UTILITY COMPANIES SHALL BE CONTACTED AND THEIR FACILITIES SHALL BE LOCATED PRIOR TO ANY WORK IN ANY EASEMENT, RIGHT-OF-WAY OR SUSPECTED UTILITY LOCATION. REPAIR OF ANY DAMAGE TO EXISTING FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS SHOWN HEREIN ARE FOR GRAPHIC ILLUSTRATION ONLY AND ARE NOT TO BE RELIED UPON.
6. PRIOR TO COMMENCEMENT OF ANY OFFSITE CONSTRUCTION, THE CONTRACTOR SHALL SECURE WRITTEN AUTHORIZATION THAT ALL OFFSITE EASEMENTS HAVE BEEN SECURED, AND THAT PERMISSION HAS BEEN GRANTED TO ENTER ONTO PRIVATE PROPERTY.
7. ALL ELEVATIONS SHOWN HEREON REFLECT USGS DATUM.
8. CONSTRUCTION SHALL NOT BLOCK OFFSITE DRAINAGE.
9. EXISTING FIELD TILES, ENCOUNTERED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND/OR REROUTED TO STORM SEWERS, BASED ON THE DECISION OF THE ENGINEER (COST INCIDENTAL).
10. EXCEPT WHERE INDICATED BY THE CONTRACT DOCUMENTS, ALL WORK PROPOSED HEREIN SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS, WHICH ARE HEREBY MADE A PART HEREOF:
 - A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY IDOT, 1997 EDITION.
 - B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS," 1998 EDITION.
 - C. "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE IEPA, 1997 EDITION.
 - D. THE SUBDIVISION AND DEVELOPMENT CODES AND STANDARDS OF THE VILLAGE OF LINCOLNWOOD AS PUBLISHED BY THE MUNICIPALITY.
 - E. THE STANDARD SPECIFICATIONS OF THE NORTH SHORE SANITARY DISTRICT.
 - F. THE NATIONAL ELECTRIC CODE.
 - G. THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES," AS PUBLISHED BY IDOT, LATEST EDITION.
 - H. THE CONTRACT DOCUMENTS, GENERAL CONDITIONS, SPECIAL PROVISIONS, AND SUPPLEMENTAL CONDITIONS OF THE PROJECT AS PREPARED BY COWHEY GUDMUNDSON LEDER, LTD.
11. IN THE EVENT OF CONFLICTING SPECIFICATIONS WITH REGARD TO SITEWORK ISSUES DESIGNED BY THE ENGINEER, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

CONTACTS

VILLAGE OF LINCOLNWOOD
6800 N. LINCOLN AVE
LINCOLNWOOD, IL 60466
PHONE (847) 673-1540

DOT / 10th DISTRICT / LINCOLNWOOD BLVD
PUBLIC UTILITIES DIVISION
201 WEST CENTER COURT
SHAMMONGUE, ILLINOIS 60196
PHONE (847) 700-4000

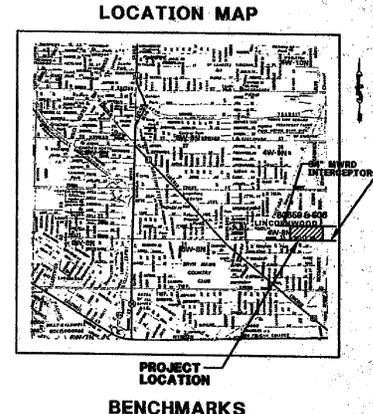
ILLINOIS ENVIRONMENTAL PROTECTION AGENCY
WATER POLLUTION CONTROL DIVISION
1021 NORTH GRAND AVENUE EAST
P.O. BOX 19278
SPRINGFIELD, ILLINOIS 62794-9278
(817) 782-0400

ISCOB GAS COMPANY
NEW SERVICES
43 E. PALMARE RD
PROSPERITY HTS. # 60093
(847) 541-3749 (EXT. 24)

COMMONWEALTH EDISON COMPANY
BRINK UNIT
1000 SIOUXE BLVD
MORTGROVE, ILLINOIS 60062
(847) 291-3301

AMERICAN
ENGINEERING DEPARTMENT
1415 LINCOLN, SCOTT BART
2004 MANER
S.E. ILLINOIS # 60096
(847) 759-5001

METRA ONE (C&S)
ENGINEERING DEPARTMENT
5000 STEWART
1001 N. DELAWARE AVE
HALES ILLINOIS 60648
(800) 775-0272



BELL & HOWELL REDEVELOPMENT - COVER SHEET

RECEIVED
OCT 11 1999
LINCOLNWOOD
BLDG. DEPT.

ILLINOIS ENGINEERING BOARD
EXPIRATION DATE 11/30/99

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Call 48 hours before you dig
(Excluding Sat., Sun. & Holidays)
1-800-892-0123

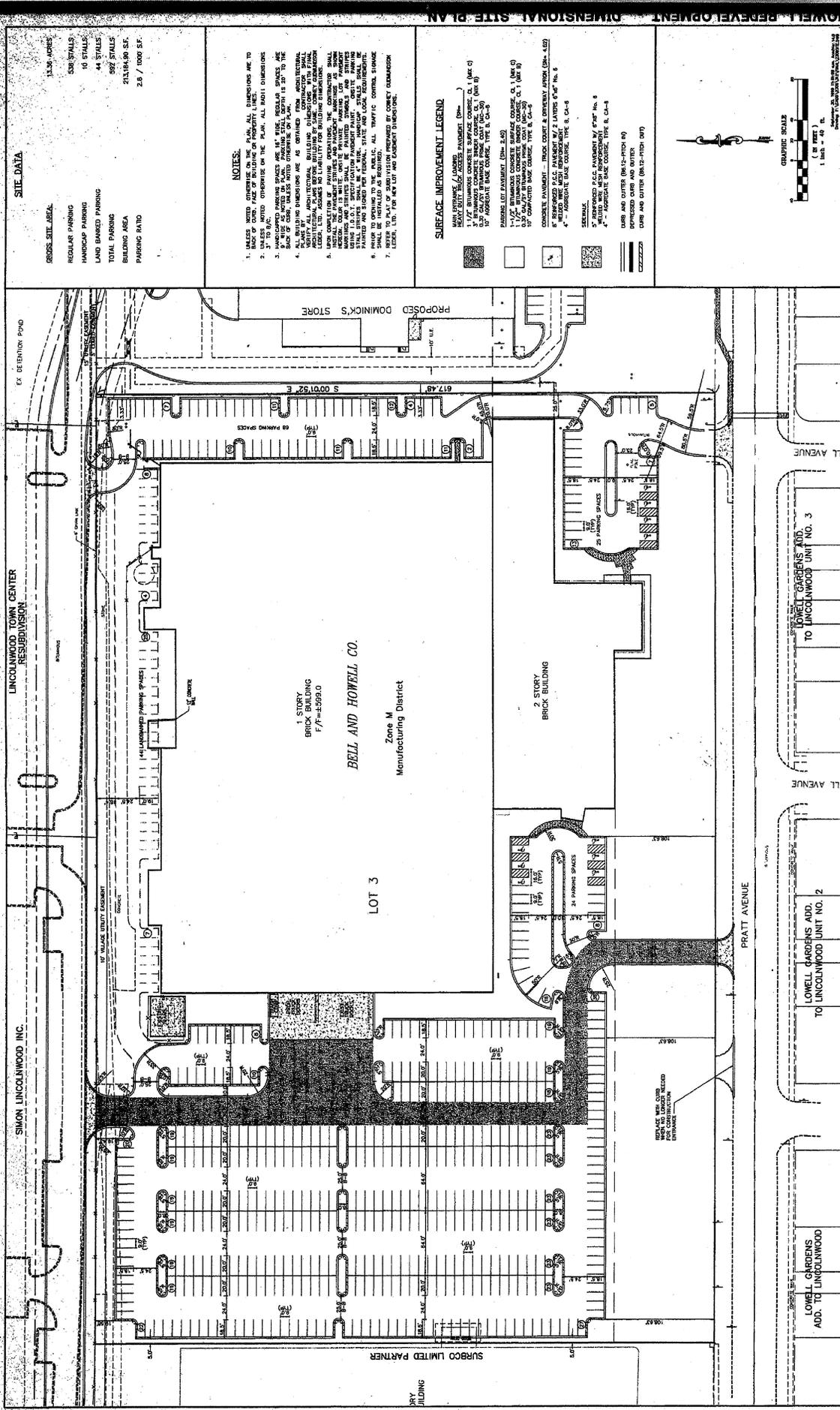
COWHEY GUDMUNDSON LEDER, LTD.
300 PARK BOULEVARD
ITASCA, ILLINOIS 60143
CONSULTING ENGINEERS (630) 250-9595

REVISIONS	

BELL & HOWELL REDEVELOPMENT
LINCOLNWOOD, ILLINOIS

PROJECT NO. 2309
DATE 9/27/99
SCALE NONE
DESIGNED BY RJB
DRAWN BY DJB
CHECKED BY HJE

COVER SHEET



SITE DATA

GROSS SITE AREA: 13.36 ACRES
 536 STALLS
 10 STALLS
 44 STALLS
 214,849 SQ. FT.
 2.8 / 1000 SF.
 REGULAR PARKING
 HANDICAP PARKING
 LAND BANKED PARKING
 TOTAL PARKING
 BUILDING AREA
 PARKING RATIO

NOTES:

1. UNLESS NOTED OTHERWISE ON THE PLAN, ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN. ALL RADIUS DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
2. UNLESS NOTED OTHERWISE ON THE PLAN, ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
4. ALL BUILDING DIMENSIONS ARE AS OBTAINED FROM ARCHITECTURAL DRAWINGS. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.
10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE ON THE PLAN.

SURFACE IMPROVEMENT LEGEND

- MAN STRIPS (1/2" WIDE)
- HEAVY DUTY TRUCK ACCESS PAVEMENT (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-1 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-2 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-3 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-4 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-5 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-6 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-7 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-8 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-9 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-10 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-11 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-12 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-13 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-14 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-15 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-16 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-17 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-18 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-19 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-20 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-21 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-22 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-23 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-24 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-25 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-26 (1/2" WIDE)
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- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-50 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-51 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-52 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-53 (1/2" WIDE)
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- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-55 (1/2" WIDE)
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- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-62 (1/2" WIDE)
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- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-90 (1/2" WIDE)
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- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-93 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-94 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-95 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-96 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-97 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-98 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-99 (1/2" WIDE)
- 1" W/ 4" SAND CONCRETE SAND COURSE, TYPE B, C-100 (1/2" WIDE)



DIMENSIONAL SITE PLAN

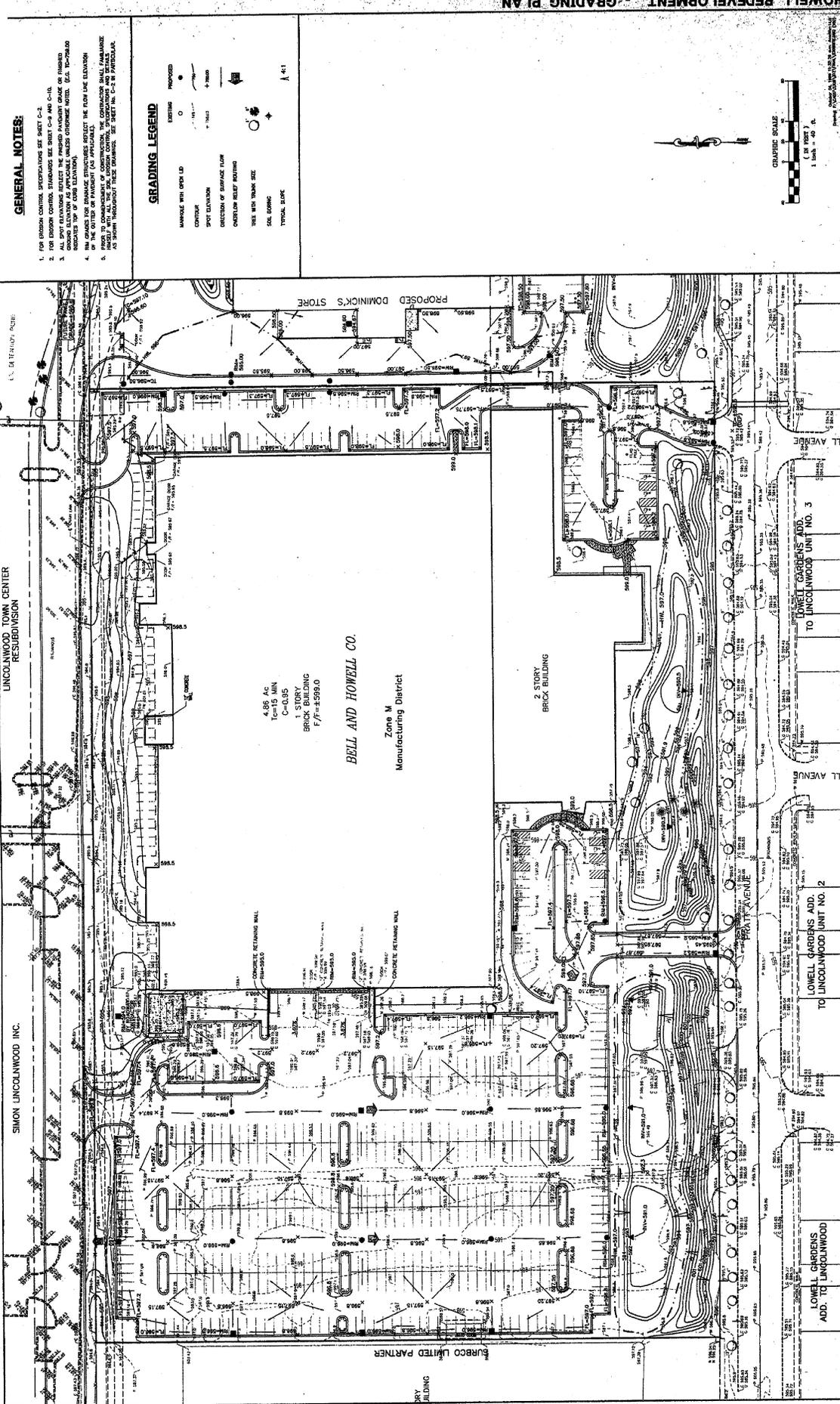
**BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS**

REVISIONS

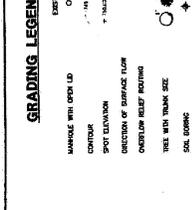
COWHEY GUDMUNDSON LEDER, LTD.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (830) 250-9595

PROJECT NO. 9200
 SHEET 9/27/98
 SCALE 1"=40'
 DESIGNED BY BRJA
 DRAWN BY SHL
 CHECKED BY C-9

REDUCED COPY



- GENERAL NOTES:**
1. FOR DESIGN CONTROL, OPERATIONS SEE SHEET C-2.
 2. ALL SPOT ELEVATIONS REFLECT THE PROPOSED FINISHED GRADE OR FINISHED GRADE ELEVATION AS APPLICABLE (UNLESS OTHERWISE NOTED). (E.G. TOP-PAVEMENT).
 3. ALL SPOT ELEVATIONS REFLECT THE PROPOSED FINISHED GRADE OR FINISHED GRADE ELEVATION AS APPLICABLE (UNLESS OTHERWISE NOTED). (E.G. TOP-PAVEMENT).
 4. THE PROPOSED DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE WATER OR FLOWLINE (AS APPLICABLE).
 5. THE PROPOSED DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE WATER OR FLOWLINE (AS APPLICABLE).
 6. THE PROPOSED DRAINAGE STRUCTURES REFLECT THE FLOW LINE ELEVATION OF THE WATER OR FLOWLINE (AS APPLICABLE).



4.86 AC
 T=15 MIN
 C=0.85
 1 STORY
 BRICK BUILDING
 F/F=±99.0

BELL AND HOWELL CO.
 Zone M
 Manufacturing District

2 STORY
 BRICK BUILDING

BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS

GRADING PLAN

PROJECT NO. 2309
 DATE 9/27/89
 SCALE BY
 DRAWN BY
 CHECKED BY

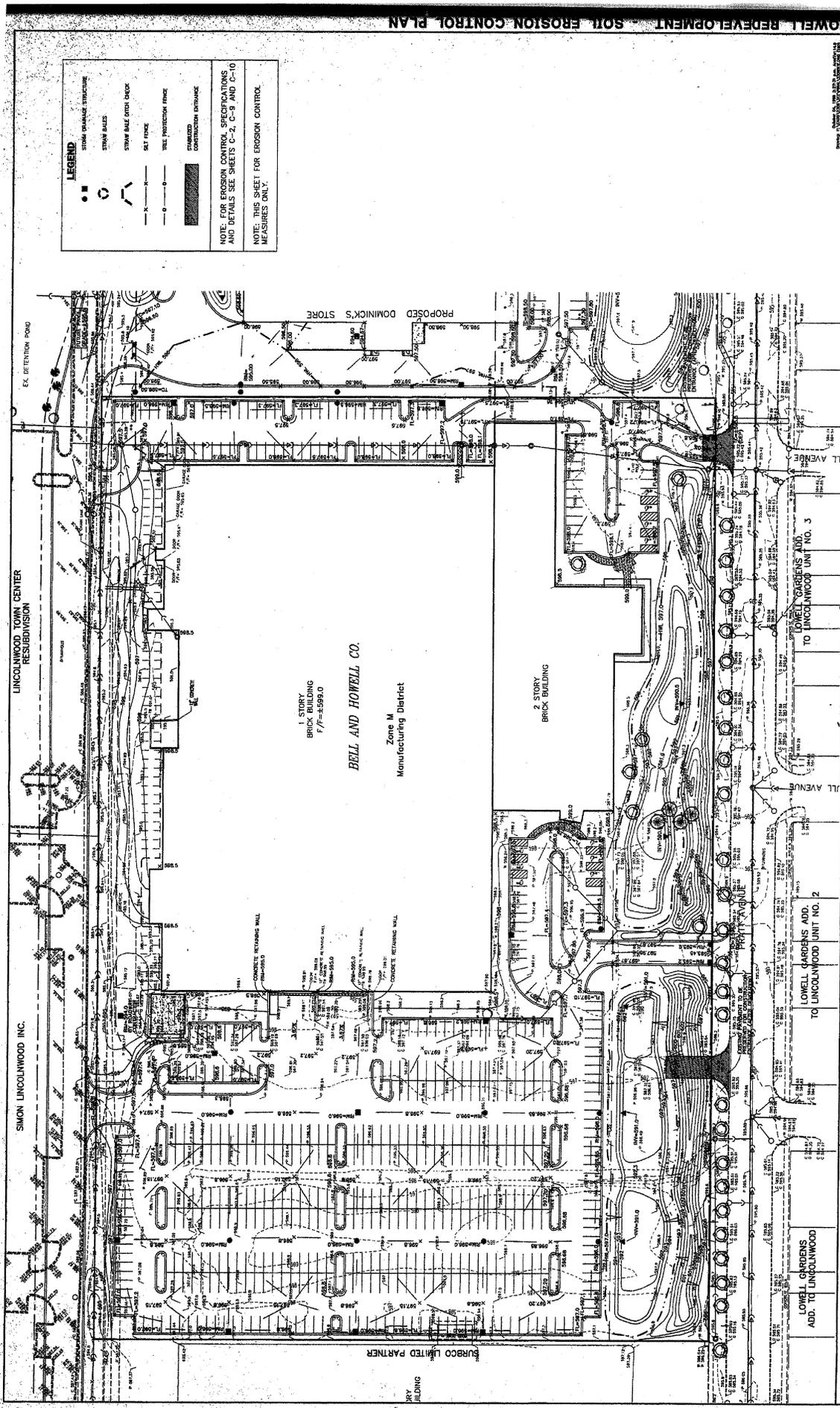
SHEET 0-5
 OF 0-9

REVISIONS

COWHEY GUDMUNDSON LEDER, LTD.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (630) 250-0595

BELL & HOWELL REDEVELOPMENT - GRADING PLAN

REDUCED COPY



LEGEND

- STREAM DRAINAGE STRUCTURE
- STRAW BALES
- SILT FENCE
- STRAW BALE OTHER DECK
- TREE PROTECTION FENCE
- ▨ STABILIZED CONSTRUCTION ENTRANCE

NOTE: FOR EROSION CONTROL SPECIFICATIONS AND DETAILS SEE SHEETS C-2, C-9 AND C-10

NOTE: THIS SHEET FOR EROSION CONTROL MEASURES ONLY.

PROJECT NO. 2309
 DATE 9/27/99
 SCALE 1"=40'
 DESIGNED BY RHA
 DRAWN BY SWJ/JLL
 CHECKED BY JHE

BELL & HOWELL REDEVELOPMENT
SOIL EROSION CONTROL PLAN

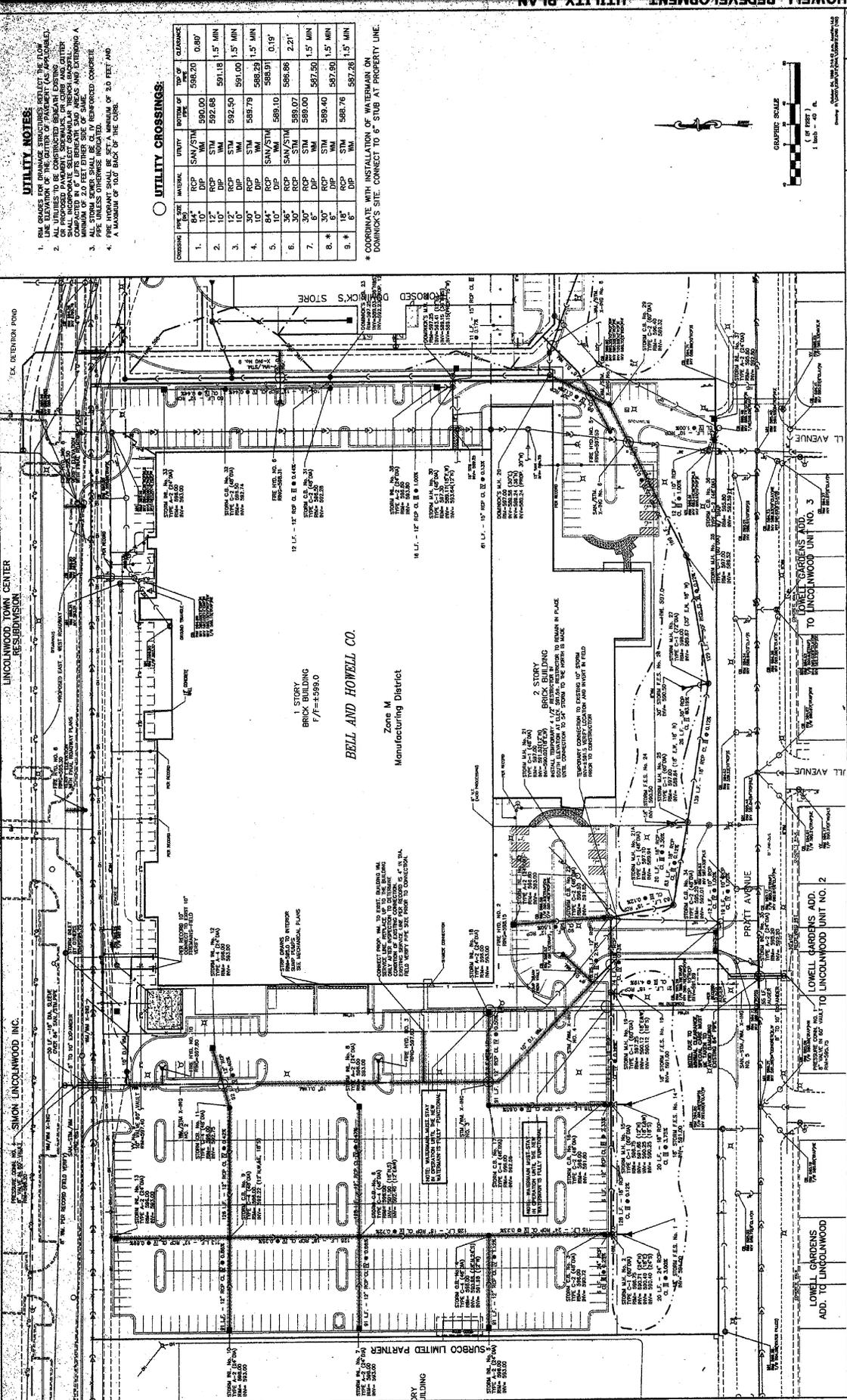
BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS

REVISIONS

NO.	DESCRIPTION

COWHEY GUDMUNDSON LEDER, LTD.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (630) 250-9595

BELL & HOWELL REDEVELOPMENT - SOIL EROSION CONTROL PLAN



- UTILITY NOTES:**
1. ALL UTILITIES TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THE CITY OF LINCOLNWOOD SPECIFICATIONS.
 2. ALL UTILITIES TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THE CITY OF LINCOLNWOOD SPECIFICATIONS.
 3. ALL UTILITIES TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THE CITY OF LINCOLNWOOD SPECIFICATIONS.
 4. ALL UTILITIES TO BE CONSTRUCTED SHALL BE IN ACCORDANCE WITH THE CITY OF LINCOLNWOOD SPECIFICATIONS.

UTILITY CROSSINGS:

CROSSING	PIPE SIZE	MATERIAL	UTILITY	DEPTH OF TRENCH	TOP OF CLEARANCE
1.	12"	RCP	SAW/STM	599.00	598.20
2.	12"	RCP	STM	592.68	591.18
3.	12"	RCP	STM	592.50	591.00
4.	30"	RCP	STM	598.79	598.29
5.	10"	DIP	SAW/STM	599.10	598.91
6.	30"	RCP	SAW/STM	599.07	598.86
7.	6"	DIP	STM	599.00	597.50
8.	6"	DIP	STM	599.40	597.90
9.	6"	DIP	STM	598.76	597.26

* COORDINATE WITH INSTALLATION OF WATERMAIN OR DORMICK'S SITE CONNECT TO 6" STUB AT PROPERTY LINE.



PROJECT NO. 2309
 DATE 9/27/99
 SCALE 1" = 40'
 DRAWN BY SW/ALL
 CHECKED BY HLL

SHEET C-7
 OF C-9

UTILITY PLAN

**BELL & HOWELL REDEVELOPMENT
 LINCOLNWOOD, ILLINOIS**

REVISIONS

NO.	DESCRIPTION

COWHEY GUDMUNDSON LEDER, LTD.
 300 PARK BOULEVARD
 ITASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (630) 250-9595

<p>B6-12 CONCRETE CURB & GUTTER</p> <p>NOTES: 1. FOR REVERSE CURB OR EXPRESSED CURB 2. CURB HEIGHT MINIMUM 12" IS 14" 3. GUTTER HEIGHT MINIMUM 12" IS 14"</p>	<p>HANDICAP PARKING SIGN</p> <p>HANDICAP PAVEMENT STRIPING</p>	<p>SOIL EROSION CONTROL FABRIC FENCE (ALSO REFERRED TO AS SILT FENCE)</p>								
<p>SIDEWALK</p> <p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>FOR REVERSE CURB OR EXPRESSED CURB</td></tr> <tr><td>2</td><td>CURB HEIGHT MINIMUM 12" IS 14"</td></tr> <tr><td>3</td><td>GUTTER HEIGHT MINIMUM 12" IS 14"</td></tr> </table>	NO.	DESCRIPTION	1	FOR REVERSE CURB OR EXPRESSED CURB	2	CURB HEIGHT MINIMUM 12" IS 14"	3	GUTTER HEIGHT MINIMUM 12" IS 14"	<p>HANDICAP PAVEMENT STRIPING</p> <p>SOIL EROSION CONTROL FABRIC FENCE (ALSO REFERRED TO AS SILT FENCE)</p>	<p>PRECAST REINFORCED CONCRETE FLARED END SECTION</p>
NO.	DESCRIPTION									
1	FOR REVERSE CURB OR EXPRESSED CURB									
2	CURB HEIGHT MINIMUM 12" IS 14"									
3	GUTTER HEIGHT MINIMUM 12" IS 14"									
<p>PARKING LOT PAVEMENT</p>	<p>HANDICAP PARKING SIGN</p> <p>HANDICAP PAVEMENT STRIPING</p>	<p>SOIL EROSION CONTROL FABRIC FENCE (ALSO REFERRED TO AS SILT FENCE)</p>								
<p>ENTRANCE/TRUCK ACCESS PAVEMENT</p>	<p>HANDICAP PARKING SIGN</p> <p>HANDICAP PAVEMENT STRIPING</p>	<p>SOIL EROSION CONTROL FABRIC FENCE (ALSO REFERRED TO AS SILT FENCE)</p>								
<p>ENTRANCE/TRUCK ACCESS PAVEMENT</p>	<p>HANDICAP PARKING SIGN</p> <p>HANDICAP PAVEMENT STRIPING</p>	<p>SOIL EROSION CONTROL FABRIC FENCE (ALSO REFERRED TO AS SILT FENCE)</p>								

**BELL & HOWELL REDEVELOPMENT
LINCOLNWOOD, ILLINOIS**

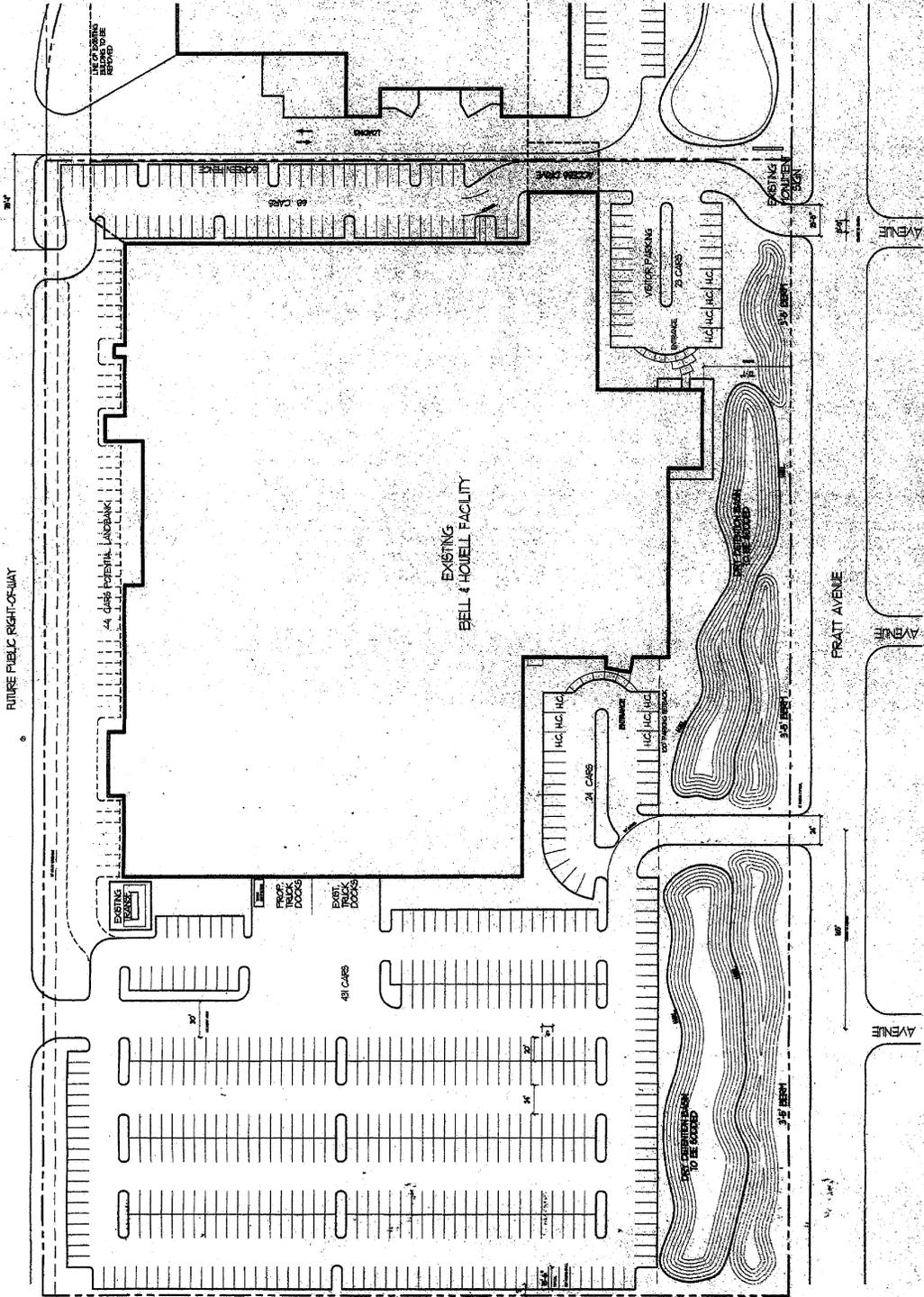
PROJECT NO. 2308
 DATE 9/27/89
 SCALE 1/8" = 1'-0"
 DESIGNED BY [Signature]
 CHECKED BY [Signature]

CONSTRUCTION STANDARDS

REVISIONS

NO.	DESCRIPTION
1	FOR REVERSE CURB OR EXPRESSED CURB
2	CURB HEIGHT MINIMUM 12" IS 14"
3	GUTTER HEIGHT MINIMUM 12" IS 14"

ENTRANCE/TRUCK ACCESS PAVEMENT
 300 PARK ROUTE
 ITCASCA, ILLINOIS 60143
 CONSULTING ENGINEERS (800) 250-9595



SITE DATA

LOCATION	6800 MCCORMICK
CURRENT ZONING	M-1 MANUFACTURING
TOTAL LOT AREA	115,000 SQ. FT.
TOTAL BUILDING AREA	115,000 SQ. FT.
EXISTING USE	INDUSTRIAL
PROPOSED USE	INDUSTRIAL
FRONT YARD SETBACK	44'
SIDE YARD SETBACK	44'
REAR YARD SETBACK	44'
TOTAL SETBACKS	132'
EXISTING BUILDING AREA	115,000 SQ. FT.
PROPOSED BUILDING AREA	115,000 SQ. FT.
TOTAL IMPROVEMENT AREA	115,000 SQ. FT.
REAR YARD SETBACK	44'
TOTAL IMPROVEMENT AREA (PAVED) ONLY	115,000 SQ. FT.
TOTAL REQUESTED PARKING	94 CARS
EXISTING PARKING AREAS	94 CARS
TOTAL PARKING PROVIDED	94 CARS
PROPOSED LANDSCAPE/PAVED	115,000 SQ. FT.
POTENTIAL FUTURE DEVELOPMENT	115,000 SQ. FT.

RECEIVED
SEP 21 1989
LINCOLNWOOD
ILLINOIS

FINAL SITE PLAN



DKS, Keegan Wilson
Architects

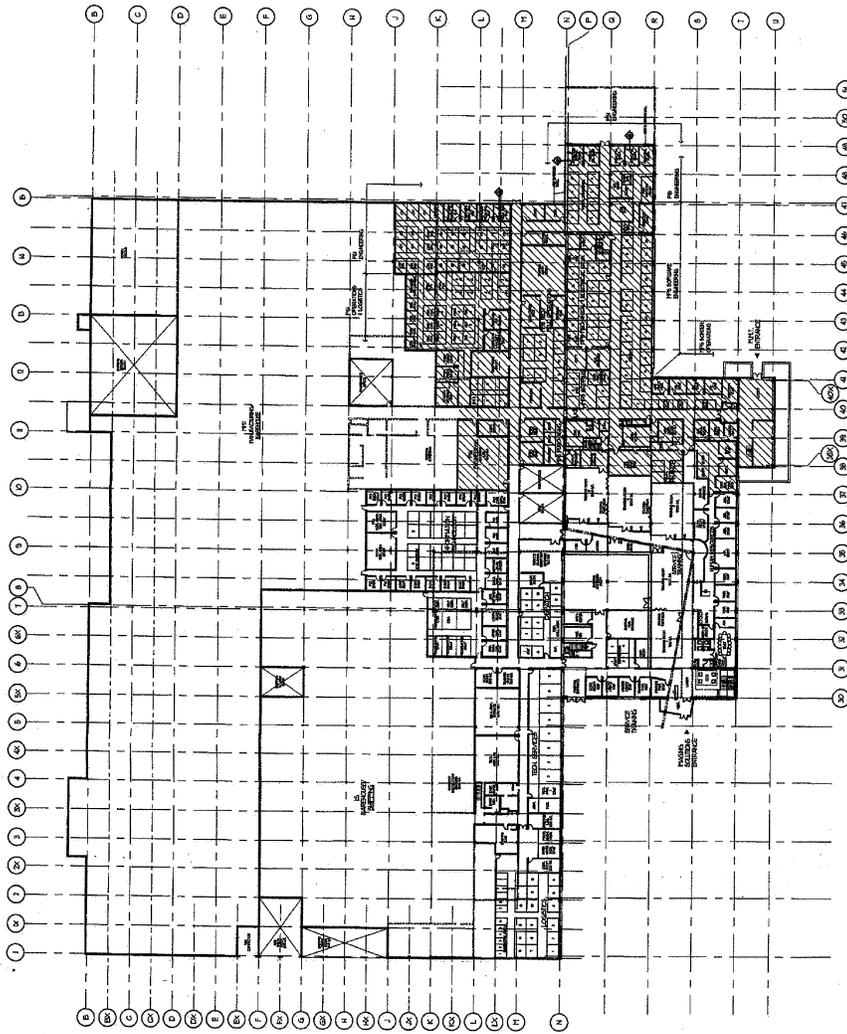
CENTERPOINT PROPERTIES

BELL & HOWELL FACILITY

6800 MCCORMICK, LINCOLNWOOD, ILLINOIS

DATE: SEPTEMBER 15, 1989
DRAWN BY: [Signature]

REDUCED COPY



1ST FLOOR OFFICE S.F. *	8483	S.F.
1ST FLOOR OFFICE S.F. *	3662	S.F.
1ST TRANSFER/LOBBY S.F. *	8365	S.F.
MECHANICAL ROOM		
BOILER ROOM		
MAIL ROOM		
1ST FLOOR TOTAL *	19909	S.F.
MAGAZINE SOLUTIONS		
2ND FLOOR OFFICE S.F. *	1919	S.F.
MAGAZINE SOLUTIONS		
2ND FLOOR OFFICE S.F. *	4022	S.F.
MAGAZINE SOLUTIONS		
WAREHOUSE SHIPPING S.F. *	3347	S.F.
MECHANICAL ROOM		
BOILER ROOM		
MAIL ROOM		
2ND FLOOR TOTAL *	9678	S.F.
COMMON AREA NOT ACCOUNTED FOR ELSEWHERE <input checked="" type="checkbox"/>		
BOILER ROOM	424	S.F.
EXISTING WEST TRUCK DOCKS *	127	S.F.
NEW WEST TRUCK DOCKS *	191	S.F.
LARGE MAINTENANCE *	276	S.F.
SMALL MAINTENANCE *	623	S.F.
WAREHOUSE TOILET/STAIR CORE *	600	S.F.
MAIL ROOM *	62	S.F.
COMMON AREA SUBTOTAL *	1929	S.F.
*** GRAND TOTAL *	24634	S.F.

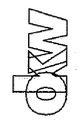
FIRST FLOOR
SCALE: 1/8" = 1'-0"

LEGEND:

- MECHANICAL ROOM
- BOILER ROOM
- BLANK WALLS AND PARTITIONS
- CURRENT WALLS AND PARTITIONS TO BE DEMOLISHED
- NEW WALLS AND PARTITIONS

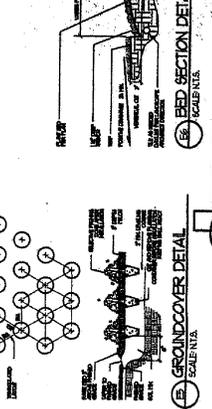
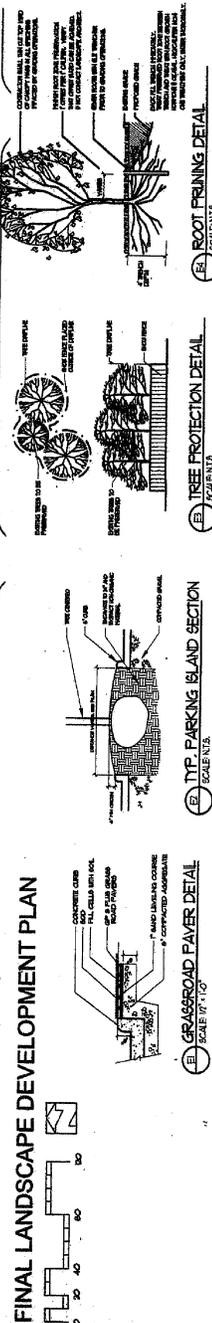
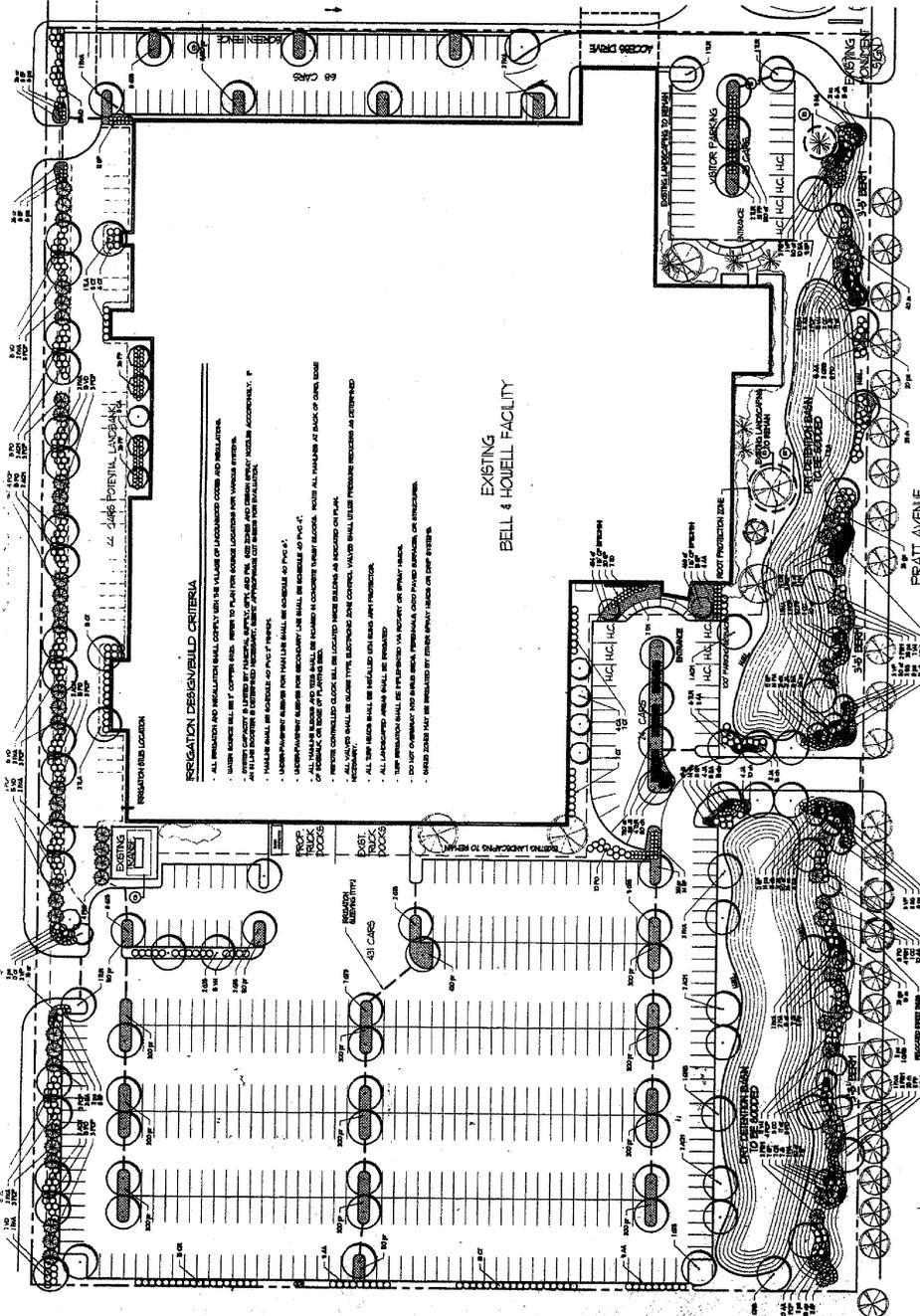
BELL & HOWELL
LINCOLNWOOD, ILLINOIS

PROPOSED SPACE PLAN 1/32" = 1'-0"
6800 MCCORMICK



Otis Koglin Wilson
Architects
183 N. Ashland
Evanston, IL 60201
630-764-7474

AUGUST 9, 1999
98061



BELL & HOWELL FACILITY
 6800 McMORMICK, LINCOLNWOOD, ILLINOIS

CENTERPOINT PROPERTIES

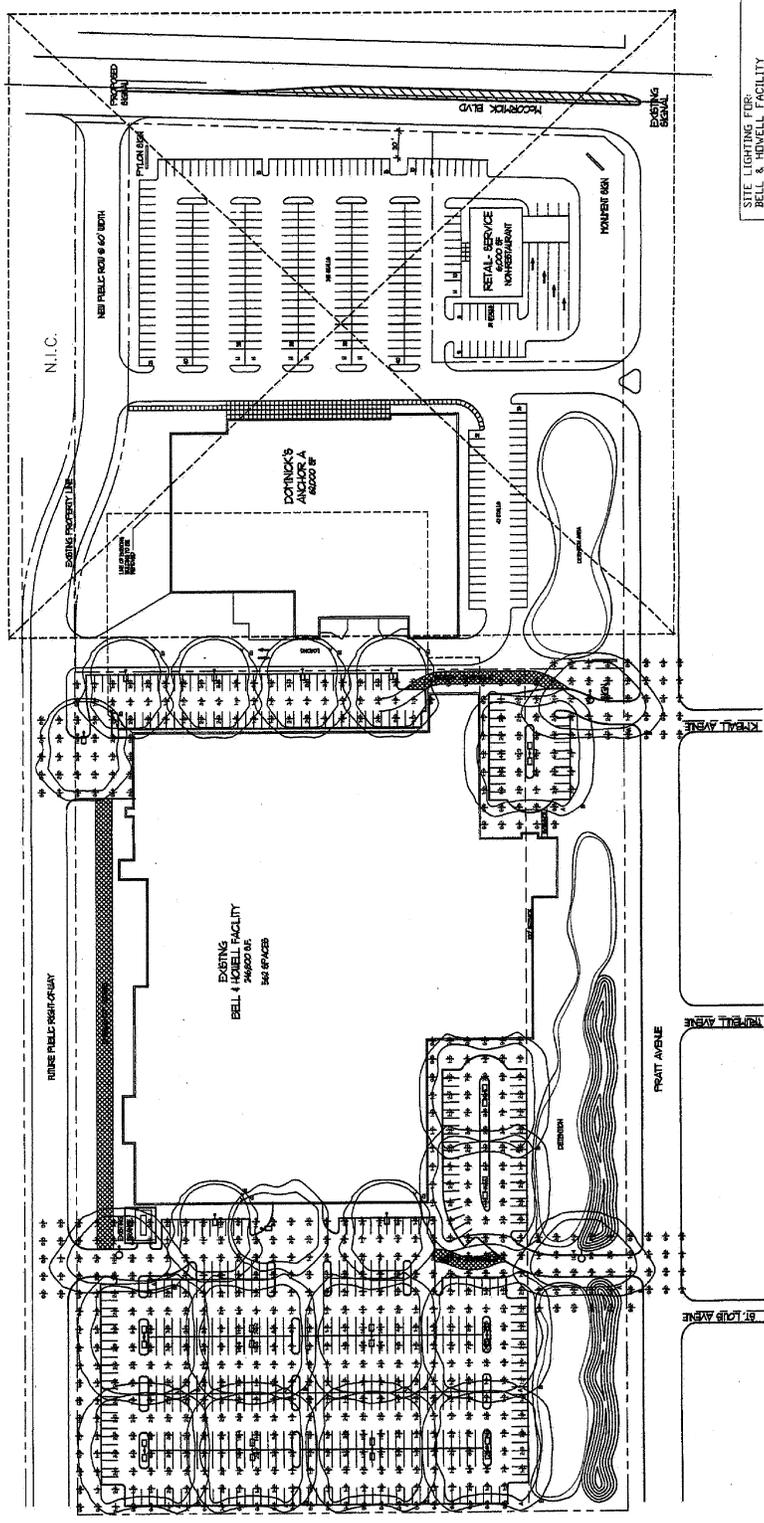
DATE: SEPTEMBER 20, 1988
 PROJECT NUMBER: 88-001
 Otis Koglin Wilson Architects

Iso-legend
 A= 1
 B= 0.5

- 000 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 001 GSA/TPC
 Mounting height 25 feet
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 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 002 GSA/TPC
 Mounting height 25 feet
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- 003 GSA/TPC
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 Number Poles this type = 8
- 004 GSA/TPC
 Mounting height 25 feet
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- 005 GSA/TPC
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- 007 GSA/TPC
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- 009 GSA/TPC
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- 011 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 012 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 013 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 014 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 015 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 016 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 017 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 018 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 019 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8
- 020 GSA/TPC
 Mounting height 25 feet
 ES Controls File: C:\SP\BESV\3062IES
 Light Loss Factor (LLF) = 0.85
 Number Poles this type = 8

ILLUMINANCE IS IN HORIZONTAL FOOTCANDLES
 TARGET PLANE AT Z = 0 FEET.
 Summary
 # POINTS 726
 AVERAGE 2.9
 MAXIMUM 10.4
 MINIMUM 0.0

Illuminance levels shown are calculated from the luminance laboratory test data listed and in accordance with Illuminating Engineering Society approved methods.
 Actual illuminance levels may differ due to variance in lamp beam output, lamp life, depreciation, and luminance distribution. Light Loss Factor (LLF) of .85 is assumed unless otherwise indicated. Other than standard field conditions.



SITE LIGHTING FOR:
 BELL & HOWELL FACILITY
 SPAULDING LIGHTING, INC.
 DATE: 08-19-99
 DRAWN BY: JMK
 PROJECT NO.: PH-02-1002E

PARKING LOT PHOTOMETER

FLOOR	IN	8/19/99	
DATE	BY	TIME	
PROJECT NO.	SCALE	1"=50'-0"	E-1
DRAWN	DATE	BY	
CHECKED			

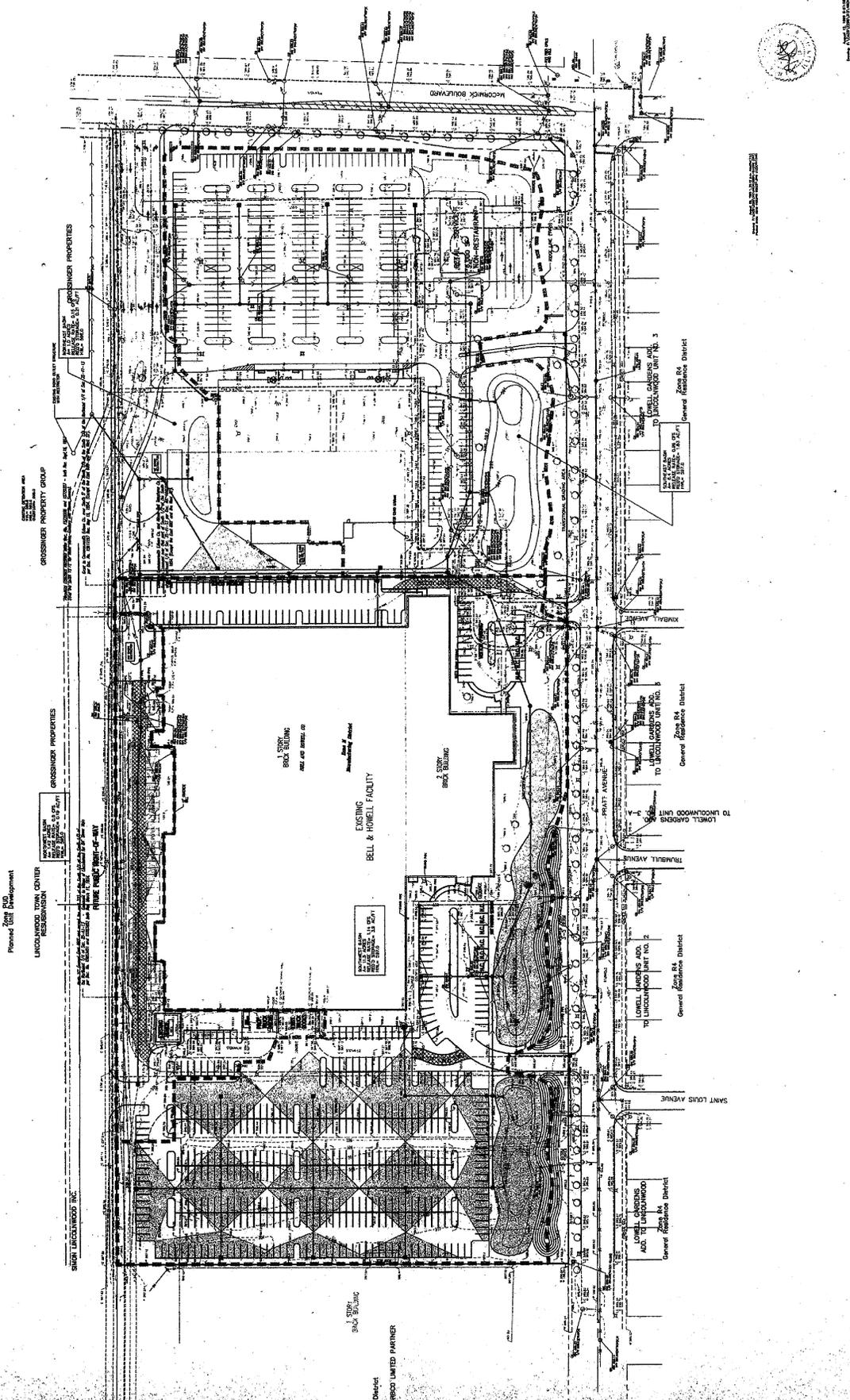
BELL & HOWELL

30 W. 63RD -
 32200 W. 63RD
 32200 W. 63RD

Lighting Controls

REDUCED COPY

REDUCED COPY



PROJECT NO.	7298	SHEET	1
SCALE	1"=50'	DESIGNED BY	JLE
		DRAWN BY	JLE
		CHECKED BY	JLE

DRAINAGE PLAN

BELL & HOWELL FACILITY
 6800 N. MCCORMICK BLVD, LINCOLNWOOD

NO.	DATE	REVISIONS

COWHEY GUDLINDSON LEHR, LTD.
 300 PARK BOULEVARD
 PASCA, ILLINOIS 60149
 CONSULTING ENGINEERS (630) 250-8686

EXHIBIT F

PC/ZBA REPORTS AND RECOMMENDATIONS DATED SEPTEMBER 23, 1999

EXHIBIT F

PLAN COMMISSION AND ZONING BOARD OF APPEALS VILLAGE OF LINCOLNWOOD, IL

Report and Recommendations Dated: September 23, 1999

A meeting of the Plan Commission and Zoning Board of Appeals of the Village of Lincolnwood, Illinois was duly held in accordance with the following data:

DATE OF MEETING: September 22, 1999

MEMBERS PRESENT: Chairman Paul Eisterhold, Anthony Pauletto, Yehuda Lebovits, Renee Sprogis-Marohn, Herbert Theisen, Mark Yohanna

MEMBERS ABSENT: Ray Kim

VILLAGE BOARD
MEMBERS PRESENT: Trustee Robert Abelson, Trustee Mary Couzin, Trustee Lawrence Elster, Trustee Nicholas Leftakes, Trustee Peter Moy, Trustee Gerald Turry

OTHERS PRESENT: Bob Bocwinski, Village Administrator
Jerry Sargent, Building Commissioner
Tim Clarke, Director of Economic Development
Jill D. Dutch, Administrative Assistant

PUBLICATION: Lincolnwood Life; copy attached (from September 8, 1999 meeting)

A quorum was present. There follows a report of said proceedings and the recommendations to the Village Board of Trustees resulting there from.


Paul Eisterhold, Chairman

Variation: 3400 and 3450 W. Pratt – site plan approval, Special Use, parking variation

Petitioner Present: Kevin Breislin (attorney for Centerpoint properties)
Owner Present: Bob Matthews (Bell & Howell)

Representatives for Applicant included Roger Dupler (land planner)
Hubert Loftus (Civil Engineer) Jim Clewlow (Centerpoint Properties)
John Loritsch (architect).

Chairman Eisterhold invited the petitioner to proceed with the continuation of its presentation. Attorney Breislin explained that the final site plans and landscape plans had been submitted. He went on to say that final engineer plans should be done by the end of next week and will be reviewed by the Village Engineer.

Commissioner Sprogis-Marohn questioned the light pole standards to be placed in the parking lot. She was concerned that the shields be made of the same material as the light pole. Mr. Dupler addressed this issue and assured her that it was the same material.

Chairman Eisterhold asked the Village Attorney to explain the procedures regarding the variation request. Attorney Cherry explained to the Board that they would be considering approval of a site plan, parking variation (for land banking) and Special Use. According to the Zoning Ordinance, the Special Use needed to be added because the site was larger than 2 acres. Commissioner Pauletto questioned whether adequate notice was given since the Special Use was added and hence changed the application. Attorney Cherry stated after reviewing the Zoning Ordinance she felt comfortable that adequate notice had been given.

Administrator Bocwinski directed the Board to Section 4 and 5 of the proposed Ordinance Granting Site Plan Approval, Special Use and a Parking Variation and explained that these were the sections to be considered this evening.

Commissioner Lebovits stated a concern regarding the language in the PUD Ordinance that referred to access/egress onto Pratt Ave. from the industrial property. His understanding of the Ordinance was that the Village could only close the westerly access to the property when the Level of Service on Pratt Ave. fell below a "D". However, if the Village consultant did not feel this would raise the Level of Service, the applicant would not be required to close the westerly access. He also voiced a concern that the ordinance referred to only evening peak hours. Administrator Bocwinski and Attorney Cherry stated that was negotiated in the PUD Ordinance and they were not sure if it could be changed.

Commissioner Yohanna suggested in order to address Commissioner Lebovits concerns that Section 4, Paragraph 1, be changed to strike out all language after the word "periods". A discussion followed.

A comment was made by Trustee Leftakes that he was also under the impression that mornings were included in the peak hour provision.

Commissioner Eisterhold asked for public testimony. Mr. Zvie Liberman, 6530 N. Kimball reiterated his concern regarding the detention areas. He

has a fear that after a heavy storm a small child could drown in one of the detention basins while chasing a ball into the area. He feels that this should be considered and alternatives to open detention basins should be explored. Again, the Board felt the probability of this occurring was unlikely.

Commissioner Pauletto made a motion to approve the site plan dated September 21, 1999, subject to the Village Landscape Consultant's letter dated September 22, 1999, final approval from the Village Engineer, and the lighting plan provided by the applicant on September 22, 1999. Commissioner Sprogis-Marohn seconded the motion. Ayes: Pauletto, Theisen, Yohanna, Sprogis-Marohn, Eisterhold, Lebovits. Nays: none. Motion approved.

Commissioner Pauletto made a motion to grant a variation for land-banked parking in the amount of 44 spaces, subject to the condition that the applicant must build the 44 spaces upon Village request, thereby requiring the applicant to build 543 parking spaces immediately. Commissioner Sprogis-Marohn, seconded the motion. Roll call vote. Ayes: Pauletto, Theisen, Yohanna, Sprogis-Marohn, Eisterhold, Lebovits. Nays: none. Motion approved.

Commissioner Lebovits made a motion to grant the Special Use variation subject to the Ordinance being changed to read, "should the Level of Service on McCormick and Pratt Ave. fall below "D", the Village will be able to require closure of the westerly access on the industrial property during morning and/or evening peak hours". This condition can only be enforced if Phase I of the East/West Connector Road has been completed. Commissioner Theisen seconded the motion. Roll call vote. Ayes: Theisen, Sprogis-Marohn, Eisterhold, Lebovits. Nays: Pauletto, Yohanna. Motion approved 4 -2.